



# TOWN OF JEROME

POST OFFICE BOX 335, JEROME, ARIZONA 86331

(928) 634-7943 FAX (928) 634-0715

## REGULAR MEETING OF THE TOWN OF JEROME

### DESIGN REVIEW BOARD

DATE: Monday, January 14, 2019 TIME: 7:00 pm

PLACE: **JEROME CIVIC CENTER**

600 Clark St., JEROME, ARIZONA 86331

## **AGENDA**

Pursuant to A.R.S. 38-431.02, notice is hereby given to the members of the Design Review Board and to the general public that the Design Review Board will hold the above meeting in Council Chambers at Jerome Town Hall. Members of the Design Review Board will attend either in person or by telephone, video or internet conferencing. The Design Review Board may recess the public meeting and convene in Executive Session for the purpose of discussion or consultation for legal advice with the Town Attorney, who may participate telephonically, regarding any item listed on this agenda pursuant to A.R.S. § 38-431.03 (A)(3).

**Before calling the meeting to order the oath of office will be administered to Tyler Christensen.**

### **ITEM 1: CALL TO ORDER/ROLL CALL**

### **ITEM 2: APPROVAL OF MINUTES: Minutes of December 10, 2018**

**Discussion/Possible Action/ Possible Direction to Staff**

**ITEM 3: PETITIONS FROM THE PUBLIC** – Pursuant to A.R.S. § 38-431.01(H), public comment is permitted on matters not listed on the agenda, but the subject matter must be within the jurisdiction of the Commission. All comments are subject to reasonable time, place and manner restrictions. All petitioners must fill out a request form with their name and subject matter. When recognized by the chair, please step to the podium, state your name and please observe the three (3) minute time limit. No petitioners will be recognized without a request. The Commission's response to public comments is limited to asking staff to review a matter commented upon, asking that a matter be put on a future agenda, or responding to criticism.

### **ITEM 4: REPORT/SUMMARY OF RECENT P&Z ACTIVITIES**

**HENRY VINCENT, P&Z LIASION**

**Discussion/Possible Direction to Staff**

### **ITEM 5: BUSINESS SIGN 412 MAIN ST.**

APPLICANT: Mark da Fonseca

ADDRESS: PO Box 1206

ZONE: C-1

OWNER OF RECORD: Flatiron Bldg. II, LLC

APN: 401-06-018

Applicant seeks approval for a new sign at the Bordello business. Sign is 3' x 3' round and is to be installed on an existing bracket. It meets size and height restrictions required by Zoning Ordinance. It was placed temporarily and requires DRB approval to remain in place.

**Discussion/Possible Action/Possible Direction to Staff**

### **ITEM 6: FRONT DOOR – CHANGE IN PLAN – 764 EAST AVE.**

APPLICANT: Michael McDonald

ADDRESS: PO Box 1146

ZONE: R1-5

OWNER OF RECORD: Michael McDonald

APN: 401-07-096

Approval of a replacement door was given by DRB in November of 2018. The proposed door was larger and wider than the current door. Structural limitations require a door more similar in size to the existing and the applicant is now seeking approval of a door that is similar in size and looks very similar to the existing door. DRB to consider preliminary and/or final approval.

**Discussion/Possible Action/Possible Direction to Staff**

### **ITEM 7: LANDSCAPING/DECK PLAN, 728 EAST AVE.**

APPLICANT: Jamie & Darryl Williams

ADDRESS: PO Box 1295

ZONE: R1-5

OWNER OF RECORD: Jamie & Darryl Williams

APN: 401-07-090K

Applicant presents a design for preliminary review and consideration. A multi-level landscaping plan includes a paver patio level, accessed from street level by metal spiral staircase, a round deck level at the

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next level down accessed outside by a staircase from the upper patio. A final staircase is provided to access lower levels of the yard. Plans and Zoning Analysis in the packet. DRB to consider preliminary and/or final approval.

## **Discussion/Possible Action/Possible Direction to Staff**

### **ITEM 8: DECK, 222 FIRST AVENUE**

APPLICANT: Andrea Allen

ADDRESS: PO Box 1151

ZONE: C-1

OWNER OF RECORD: Andrea Allen

APN: 401-06-072A

Applicant presents a design for a deck built at the lower level of the property, on the northwest side of the building facing Diaz Street. DRB to consider preliminary and/or final approval.

## **Discussion/Possible Action/Possible Direction to Staff**

### **ITEM 9: UPWARD EXPANSION – 2<sup>ND</sup> FLOOR, STORAGE ROOM ADDITION OVER EXISTING GARAGE – 701 HULL ROAD**

APPLICANT: Kathi & Don Feher

ADDRESS: PO Box 244

ZONE: R1-5

OWNER OF RECORD: Donald & Kathryn Feher

APN: 401-08-011A & 011B

Applicant presents a design for preliminary review and consideration. A second story addition over existing garage. Plans and Zoning Analysis in the packet. DRB to consider preliminary and/or final approval.

## **Discussion/Possible Action/Possible Direction to Staff**

### **ITEM 10: NEW CONSTRUCTION 3400 + SQ FT HOME ON DUNDEE, ADDRESS TBD**

APPLICANT: Lee Christensen for Scott & Wendy Prior

ADDRESS: 3694 Via Bernado, Oceanside CA 92056

ZONE: R1-5

OWNER OF RECORD: Scott & Wendy Prior

APN: 401-11-019S

Applicant presents a design for preliminary review and consideration. A new home is proposed at a location between 175 and 275 Dundee on a vacant lot. Further Zoning Analysis in the packet. DRB to consider preliminary approval and/or recommend additional items for submission.

## **Discussion/Possible Action/Possible Direction to Staff**

### **ITEM 10: SECTION 509 – SIGNS**

DRB to review Zoning Ordinance, Article V, Section 509 SIGNS. P&Z advanced to Council Text Amendments with regard to Temporary Signs. Council was unable to support changes, asked P&Z to revise, P&Z seeks DRB input.

## **Discussion/Possible Action/Possible Direction to Staff**

### **ITEM 11: CERTIFICATE OF NO EFFECT**

DRB to review draft text amendment to Zoning Ordinance, Article III, Section 304 DESIGN REVIEW. Possible addition of Certificate of no Effect. This item has been reviewed by P&Z and they have asked for DRB review before a public hearing is scheduled.

## **Discussion/Possible Action/Possible Direction to Staff**

### **ITEM 12: FUTURE AGENDA ITEMS**

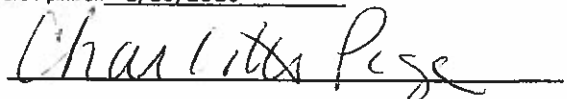
## **Discussion/Possible Direction to Staff**

### **ITEM 13: ADJOURN**

## **Discussion/Possible Action**

The undersigned hereby certifies that this notice and agenda was posted at the following locations on or before 7 p.m. on 1/10/2010

970 Gulch Road, side of Gulch Fire station, exterior posting case  
600 Clark Street, Jerome Town Hall, exterior posting case  
120 Main Street, Jerome Post Office, interior posting case



Charlotte Page, Zoning Administrator, Attest

Persons with a disability may request a reasonable accommodation such as a sign language interpreter by contacting the Deputy Town Clerk Joni Savage at (928) 637-7943. Requests should be made as early as possible to allow sufficient time to make arrangements. Anyone needing clarification on a DRB agenda item may call Jerome Town Hall at (928) 634-7943 and ask to speak with Charlotte Page, Zoning Administrator.



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### DESIGN REVIEW BOARD

DATE: Monday, December 10, 2018 TIME: 7:00 pm

PLACE: JEROME CIVIC CENTER

600 Clark St., JEROME, ARIZONA 86331

### DRAFT MINUTES

#### ITEM 1: CALL TO ORDER/ROLL CALL

Chair Brice Wood called the meeting to order at 7:00 p.m.

Charlotte Page called roll. Present were Chair Brice Wood, Vice Chair Danny Smith, Henry Vincent and John McDonald.

Staff present Charlotte Page, Zoning Administrator and Joni Savage, Deputy Clerk.

#### 7:01 ITEM 2: APPROVAL OF MINUTES: Minutes of November 14, 2018

COMMISSIONER	MOVED	SECONDED	AYE	NAY	ABSENT	ABSTAIN
WOOD			X			
SMITH			X			
MCDONALD	X		X			
VINCENT		X	X			

#### 7:01 ITEM 3: PETITIONS FROM THE PUBLIC - *There were no petitions from the public.*

#### 7:01 ITEM 4: REPORT/SUMMARY OF RECENT P&Z ACTIVITIES HENRY VINCENT, P&Z LIASION

Mr. Vincent spoke about the work session concerning rezoning eleven parcels on Hampshire and North Drive. He noted they had gone into executive session prior to the last regular meeting and asked the attorney questions regarding the rezoning.

Mr. Vincent then apprised them of the status of the new home being built on North Drive. He updated them on the Solar Guidelines. He discussed the temporary sign permit and informed the Design Review that Planning and Zoning is passing that back to them.

Chair Wood asked if there had been anything negative about the project on 160 North Drive. He asked if anyone had come in support of that project.

Mr. Vincent said there was no one in opposition to the project on North Drive in attendance at the meeting.

Chair Wood doesn't feel that we are the only say on this and he directed staff to reach out to the neighbors.

#### 7:09 ITEM 5: NEW ROOF ON SUN ROOM AT 123 BEAL ST.

APPLICANT: Michael & Candace Gallagher

ADDRESS: 123 Beale St.

OWNER OF RECORD: Michael & Candace Gallagher

ZONE: AR

APN: 401-06-111D

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Applicant seeks to replace a glass roof on a sunroom attached to the home on the south-west side (rear) of the building. Glass to be replaced with slate colored roll roofing to complement the existing shingle roof on the main structure.

## Approval of new roof.

COMMISSIONER	MOVED	SECONDED	AYE	NAY	ABSENT	ABSTAIN
WOOD			X			
SMITH	X		X			
MCDONALD			X			
VINCENT		X	X			

## 7:10 ITEM 6: FUTURE AGENDA ITEMS

Chair Wood asked to get together with Ms. Page prior to the next meeting and discuss his hopes for the signs in Town. He would like it on the next agenda.

Ms. Page believes that there are items in the Zoning Ordinance that need to be amended.

Mr. Vincent made an observation that they had done so much work and then it was the very end when the public showed up and complained against it.

Mr. Smith asked about the status of the "Certificate of No Effect?" There was some discussion about it and its status.

## ITEM 7: ADJOURN

### Adjourned at 7:15 p.m.

COMMISSIONER	MOVED	SECONDED	AYE	NAY	ABSENT	ABSTAIN
WOOD			X			
SMITH	X		X			
MCDONALD		X	X			
VINCENT			X			

*Approval on next page.*

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### DESIGN REVIEW BOARD

DATE: Monday December 10, 2018 TIME: 7:00 pm

PLACE: JEROME CIVIC CENTER

600 Clark St., JEROME, ARIZONA 86331

### MINUTES

*Respectfully submitted by Joni Savage on January 14, 2019.*

Approved: \_\_\_\_\_ Date: \_\_\_\_\_  
Design Review Board Chair

Attest: \_\_\_\_\_ Date: \_\_\_\_\_  
Design Review Board Vice Chair



# TOWN OF JEROME

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OFFICE (928) 634-7943 FAX (928) 634-0715

## ZONING ADMINISTRATOR ANALYSIS DESIGN REVIEW BOARD

**January 14, 2019**

### **ITEM 5: Bordello, New BUSINESS SIGN**

**ZA Analysis:** Sign is 3' x 3' round which is within the size restrictions and is to be mounted on an existing bracket at the accepted height. Proposed location is within standard guidelines.



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## TOWN OF JEROME, ARIZONA

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Charlotte Page, Planning & Zoning Administrator

Historic Preservation Officer

c.page@jerome.az.gov

### APPLICATION FOR SIGN PERMIT

(Please include \$25.00 fee with completed application)

APPLICANT'S NAME: MARK da FONSECA

MAILING ADDRESS: P.O. BOX 1206

TELEPHONE #: (619) 316-1086 E-MAIL DAFON57@GMAIL

BUSINESS NAME/ADDRESS/SIGN LOCATION: THE BORDELLO OF JEROME  
412 MAIN ST - ON EXISTING SIGN RACK

PARCEL #: \_\_\_\_\_

OWNER AGREEMENT FOR SIGN INSTALLATION: YES

DIMENSIONS: HEIGHT 3' ROUND WIDTH 3' DIAMETER

MATERIALS: BACKGROUND METAL LETTERING GOLD

COLORS: BACKGROUND MAROON LETTERING \_\_\_\_\_

#### SIGN SITE PLAN

\_\_\_\_\_: Eight copies, drawn to scale

\_\_\_\_\_: Lettering

\_\_\_\_\_: Dimensions

\_\_\_\_\_: Location on Building

\_\_\_\_\_: Materials

\_\_\_\_\_: Location of existing signs

\_\_\_\_\_: Color

\_\_\_\_\_: Lighting of sign

#### TOWN USE BELOW:

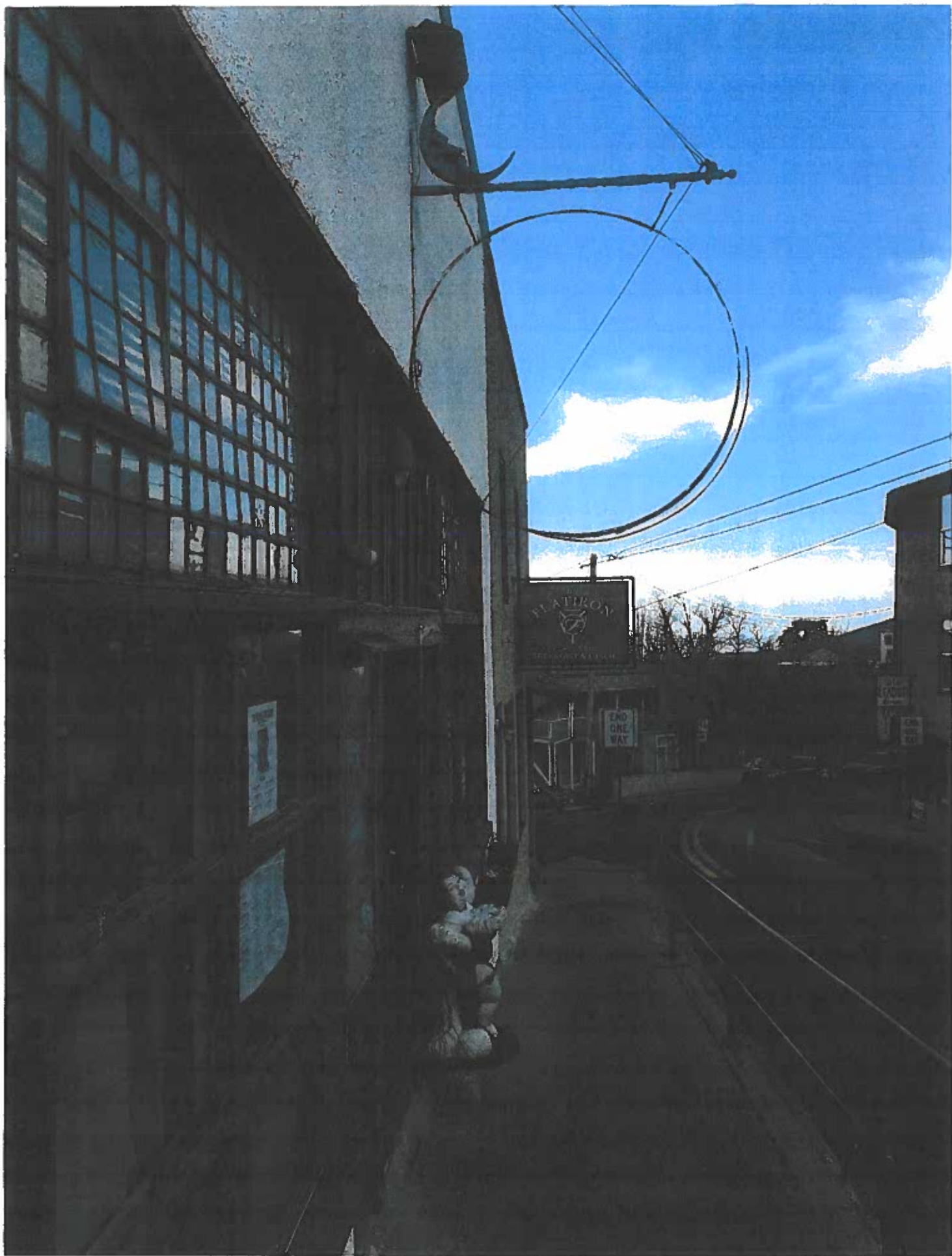
Received the sum of \$ \_\_\_\_\_ as: ☐ Check No. \_\_\_\_\_ ☐ Cash

ON DATE: \_\_\_\_\_ BY: \_\_\_\_\_



3  
feet  
DIAMETER

MATERIAL - METAL  
LOCATION - FRONT of BUILDING ON EXISTING RAC  
LIGHTING - EXISTING LIGHTING TO SHINE UPWARD







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## ZONING ADMINISTRATOR ANALYSIS DESIGN REVIEW BOARD

January 14, 2019

### ITEM 6: FRONT DOOR – CHANGE IN PLAN – 764 EAST AVE.

**ZA Analysis:** Approval of a replacement door was given by DRB in November of 2018. The proposed door was larger and wider than the current door. Structural limitations require a door more similar in size to the existing and the applicant is now seeking approval of a door that is similar in size and looks very similar to the existing door. The newly proposed front door could have been a like-for-like replacement if submitted originally, and as such could be considered ordinary maintenance like same color paint or other homeowner repairs which do not require DRB review.



# Town of Jerome, Arizona

PO Box 335, Jerome, Arizona 86331  
**Bill Jensen, Planning & Zoning Administrator**  
**Historic Preservation Officer**  
 Office: (928) 634-7943 Fax: (928) 634-0715 [zoning@tojaz.us](mailto:zoning@tojaz.us)  
 Direct Tel.: (928) 554-5974  
 Celebrating Our 112<sup>th</sup> Anniversary  
 1899-2011

Founded 1876  
 Incorporated 1899

## APPLICATION FOR PLAN OR DESIGN REVIEW

BY: (Please check one. A separate filled out form is required for each.)

☐ Planning & Zoning Commission ☒ Design Review Board  
 → PLEASE PRINT LEGIBLY BELOW SO PROCESSING WON'T BE DELAYED.

APPLICANT'S NAME: MICHAEL McDONALD

MAILING ADDRESS: PO Box 1146 764 EAST AVE JEROME, AZ 86331-1146

TELEPHONE #: (928) 821-3993 EMAIL ADDRESS: michaelmcdonald3@mac.com

PROJECT ADDRESS: 764 EAST AVE JEROME, AZ 86331

PARCEL NUMBER: 401-07-096 ZONE DISTRICT: MOUNTAINVIEW SUB MS 2251

APPLICATION FOR: (Please describe the project.) Replacement of  
FRONT DOOR Addendum

I hereby apply for consideration and conditional approval by the above checked Board or Commission. I understand that any approval is not valid until application fees are received by the Town. I have obtained and reviewed information on the criteria used in evaluation by these bodies and/or reviewed the applicable provisions in the Town Zoning Ordinance. I understand that this application will not be scheduled for consideration until all required materials have been submitted and reviewed.

Applicant's signature

Date: 1/2/19

### TOWN USE BELOW:

RECEIVED FROM: Addendum to Nov 18 approval

Received the sum of \$ \_\_\_\_\_ as: ☐ Check No. \_\_\_\_\_ ☐ Cash No Charge  
 Fee schedule item below. (Ord. 332) Charlter Page

ON DATE: \_\_\_\_\_ BY: \_\_\_\_\_ FOR: \_\_\_\_\_

## **DESIGN REVIEW**

Please review ZONING ORDINANCE, SECTION 304

All applications for Design Review Board approval shall include the following:

1. Eight (8) copies of the plot plan or site layout including all improvements drawn to scale
2. One (1) set of legible photographs showing all sides of existing structures
3. One (1) set of legible photographs showing adjoining properties, buildings and structures
4. Exterior elevations, drawn to scale
5. Materials and color samples
6. Signs, where applicable
7. Buildings, structures, etc. To be demolished or removed

Each application for design approval will be filed with the Zoning Administrator to be forwarded to the Design Review Board. The application for approval shall be submitted with copies of the plan. Each copy shall be on one or more sheets of paper not measuring more than twenty four inches (24") by thirty six inches (36"), drawn to a scale not smaller than forty feet (40') to the inch. The following checklist is provided for the applicant's convenience to insure inclusion of all necessary data.

_____	Plot plan or site layout drawn to scale
_____	Elevations drawn to scale
_____	Photos of site
_____	Photos of adjoining properties
_____	Material samples
_____	Color Samples
_____	Additional information requested by Zoning Administrator
_____	Additional information requested by Design Review Board

## **Signs**

Please review ZONING ORDINANCE, SECTIONS 303 and 509

_____	Eight copies, drawn to scale, 1 or more sheets of paper no more than 24" X 36"
_____	Dimensions
_____	Materials
_____	Colors
_____	Lettering
_____	Structure
_____	Lighting of sign
_____	Drawing or photo of building facade indicating proposed location of sign
_____	Drawing or photo indicating all other existing signs

13. Performance Standards. Please review and indicate compliance with the following:

Standard	Compliance guaranteed
Noise	<u>✓</u>
Smoke	<u>✓</u>
Glare or heat	<u>✓</u>
Vibration	<u>✓</u>
Fly ash, dust, fumes, vapors, gases or other forms of air pollution	<u>✓</u>
Liquid and solid waste	<u>✓</u>
Odors	<u>✓</u>

14. Is land suitable for building? (Engineering verification may be necessary) \_\_\_\_\_  
 Slope \_\_\_\_\_  
 Engineering report submitted? \_\_\_\_\_

15. Home Occupation? owner occupied

16. Exterior lighting \_\_\_\_\_

17. Walls and Fences \_\_\_\_\_

18. Accessory building(s) \_\_\_\_\_

Square Footage \_\_\_\_\_ Height \_\_\_\_\_

19. Projections from building (type of projection in feet) \_\_\_\_\_

1/2/2019

To: Design Review board  
Jerome, Az

From: Michael McDonald

Dear DRB,

This is an addendum to my original application regarding the moving of my original front door to now enclosed front porch (the actual front door location).

After removing the interior paneling surrounding the current front door we discovered that the surrounding area is stuccoed and concrete making it cost ineffective to remove. We expected normal wood framing. As the original door is larger than the current opening I have elected to have the contractor purchase a new door instead.

Enclosed are pictures of the new door. It combines elements of the current door (window lights) and also has elements of the original door (dental shelf). It feels like a very good compromise. As you have already approved the first application I would like to request an expedited approval on this unexpected issue so as to not delay my contractors obligation to finish this NACOG project on time. He is beginning the week of Jan. 7, 2019.

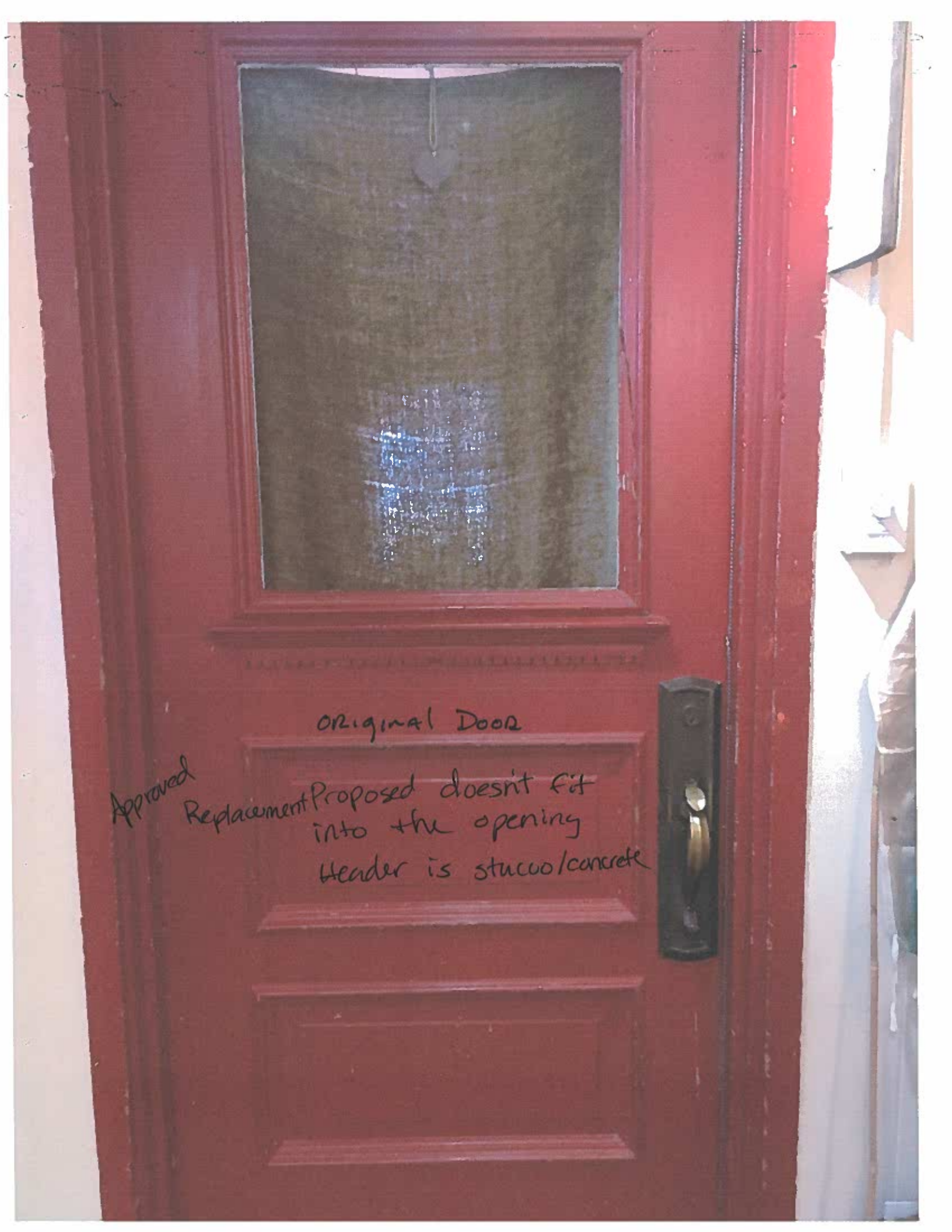
Thank you very much for your consideration.

Photos attached

Sincerely,  
Michael McDonald



CURRENT  
DOOR



original Door

Approved

Replacement Proposed doesn't fit  
into the opening  
Header is stucco/concrete

#205089309

Replacement  
choice #1



net #205330558

Replacement  
choice #2





# TOWN OF JEROME

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## ZONING ADMINISTRATOR ANALYSIS DESIGN REVIEW BOARD

January 14, 2019

### ITEM 7: LANDSCAPING/DECK PLAN, 728 EAST AVE.

Applicant is submitting a landscaping plan that includes staircases, decking and landscaping on multiple levels to complement the use of the home. A metal spiral staircase will provide access at the street level. This is planned to land at an upper level patio which will be flagstone. This patio serves the main floor of the house. This area is existing and planned for improvement with some expansion. A retaining wall clad in stone is planned below this level down to the level of a lower circular deck. An existing retaining wall is to be improved, expanded and covered in stone.

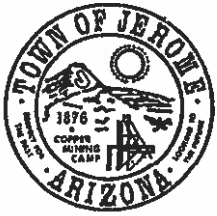
From the upper level flagstone patio, a flight of twelve stairs will land on the proposed circular deck, this area will be connected by a matching deck allowing access to the existing lower level of the home. The deck and associated railing and the stairs (except the spiral staircase) will be of Trex material (synthetic lumber). Two areas of railing, #4 on the plan, are to be vertical cable railing.

The plan includes additional stairs that will access the yard below the lower level deck, some stabilizing is indicated for the lower portion of the yard. The deck measuring at 30' x 30', the bold line is intended to show the lot set back and will be clarified by the applicant.

LED Lighting is planned for all stairs mounted to illuminate the foot treads for safety. Railing for stairs and on the deck is to be made of the same materials as the deck, a synthetic lumber requiring minimal maintenance. The framed vertical cable rails are planned for a short section of the circular deck and a portion of the lowest staircase for improved views.

If approved, this project will be subject to building permits and inspection for all phases of development.

Charlotte Page, Zoning Administrator



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Incorporated 1899

Jerome Town Hall and Civic Center  
600 Clark Street  
P.O. Box 335, Jerome, AZ 86331  
(928) 634-7943 FAX (928) 634-0715

## APPLICATION FOR DESIGN REVIEW

PLEASE PRINT LEGIBLY SO THAT PROCESSING WON'T BE DELAYED.

APPLICANT'S NAME: Jaime + Darryl Williams  
MAILING ADDRESS: PO Box 1295 Jerome 86331  
TELEPHONE: 541-207-6952 EMAIL: jaidamaxx@gmail  
PROJECT ADDRESS: 728 East Avenue, Jerome  
PARCEL NUMBER: 401-07-090X ZONE DISTRICT: Residential 1-5  
APPLICATION FOR (Please describe the project): Outdoor deck, new access (stairs) to guest rooms.

- I hereby apply for consideration and conditional approval by the Design Review Board.
- I understand that any approval is not valid until application fees are received by the Town.
- I have obtained and reviewed information on the criteria used in evaluation by these bodies and/or reviewed the application provisions in the Town Zoning Ordinance.
- I understand that this application will not be scheduled for consideration until all required materials have been submitted and reviewed.

APPLICANT'S SIGNATURE: [Signature] DATE: 12-17-18

### TOWN USE BELOW

RECEIVED FROM: Jaime Williams DATE: 12/17/18

Received the sum of \$ \$50 as: ☒ Check No. 2806 ☐ Cash ☐ Credit Card

Per Fee schedule - Ordinance 332

BY: OP / JS. FOR: DRB Submission

## **DESIGN REVIEW – Please review ZONING ORDINANCE, ALL OF SECTION §304**

All applications for Design Review Board approval shall include the following:

Procedures and Criteria should include the following from the Zoning Ordinance, Section §304.F, where applicable. Please submit eight (8) copies of each:

1. Plot plan or site layout, including all improvements drawn to scale.
2. Legible photographs showing all sides of existing structures.
3. Legible photographs showing adjoining properties, buildings, and structures.
4. Exterior elevations drawn to scale.
5. Materials and color samples.
6. Signs, where applicable.
7. Buildings, structures, etc., to be demolished or removed.

Items reviewed by the Design Review Board include but are not limited to:

_____	PROPORTION
_____	OPENINGS
_____	PATTERN
_____	SPACING
_____	ENTRANCES
_____	PORCHES / DECKS / PROJECTIONS
_____	MATERIALS / TEXTURE / COLOR
_____	ROOFS
_____	ARCHITECTURAL DETAILS
_____	ACCESSORY FEATURES
_____	LANDSCAPING
_____	SCREENING
_____	VISUAL COMPATIBILITY
_____	LIGHTING

Each application for design approval will be filed with the Zoning Administrator to be forwarded to the Design Review Board. The application for approval shall be submitted with copies of the plan. Each copy shall be on one or more sheets of paper, not measuring more than twenty-four (24) inches by thirty-six (36) inches, drawn to a scale not smaller than forty (40) feet to the inch. The following checklist is provided for the applicant's convenience to ensure inclusion of all necessary items.

- \_\_\_\_\_ Plot plan or site layout drawn to scale
- \_\_\_\_\_ Elevations drawn to scale
- \_\_\_\_\_ Photos of site *all 4 sides of building*
- \_\_\_\_\_ Photos of adjoining properties
- \_\_\_\_\_ Material samples *building materials*
- \_\_\_\_\_ Color samples
- \_\_\_\_\_ Additional information requested by Zoning Administrator
- \_\_\_\_\_ Additional information requested by Design Review Board

**SIGNS** – Please review ZONING ORDINANCE, SECTIONS §303, §304.F.4, and §509.

- \_\_\_\_\_ Eight (8) copies drawn to scale, one (1) or more sheets of paper no larger than twenty-four (24) inches by thirty-six (36) inches
- \_\_\_\_\_ Dimensions
- \_\_\_\_\_ Materials
- \_\_\_\_\_ Colors
- \_\_\_\_\_ Lettering
- \_\_\_\_\_ Structure
- \_\_\_\_\_ Lighting of sign
- \_\_\_\_\_ Drawing or photo of building façade indicating proposed location of sign
- \_\_\_\_\_ Drawing or photo indicating all other existing signage

**DEMOLITION** – Please review ZONING ORDINANCE, SECTIONS §304.D.2 and §304.F.3.

- \_\_\_\_\_ Plot plan or site layout
- \_\_\_\_\_ Legible photos showing all sides of the building or structure to be demolished
- \_\_\_\_\_ Legible photos showing adjoining properties
- \_\_\_\_\_ Any other information the Design Review Board may find necessary to establish compliance with this section

In passing on an application for demolition, partial demolition, or removal, the Design Review Board shall consider, among other things, the architectural or aesthetic quality or significance of the building or structure to the public interests of the Town.

**PLEASE NOTE:**

After Planning & Zoning Commission approval and Design Review Board approval, building projects must then be submitted to the Building Inspector for review, approval, and issuance of building permit(s).

**REGARDING BUILDING PERMITS:**

Additional fees are required for building permits to reimburse the Town for costs of providing plan review and construction inspection services. Please refer questions to the Building Inspector. Commercial projects and some residential projects generally require plans to be prepared and/or sealed by an Arizona registrant, such as a licensed architect or engineer, per A.R.S. §32-144. Licensed contractors are required for construction projects per A.R.S. §32-1121.



**STAFF CONTACT:**  
[c.page@jerome.az.gov](mailto:c.page@jerome.az.gov)



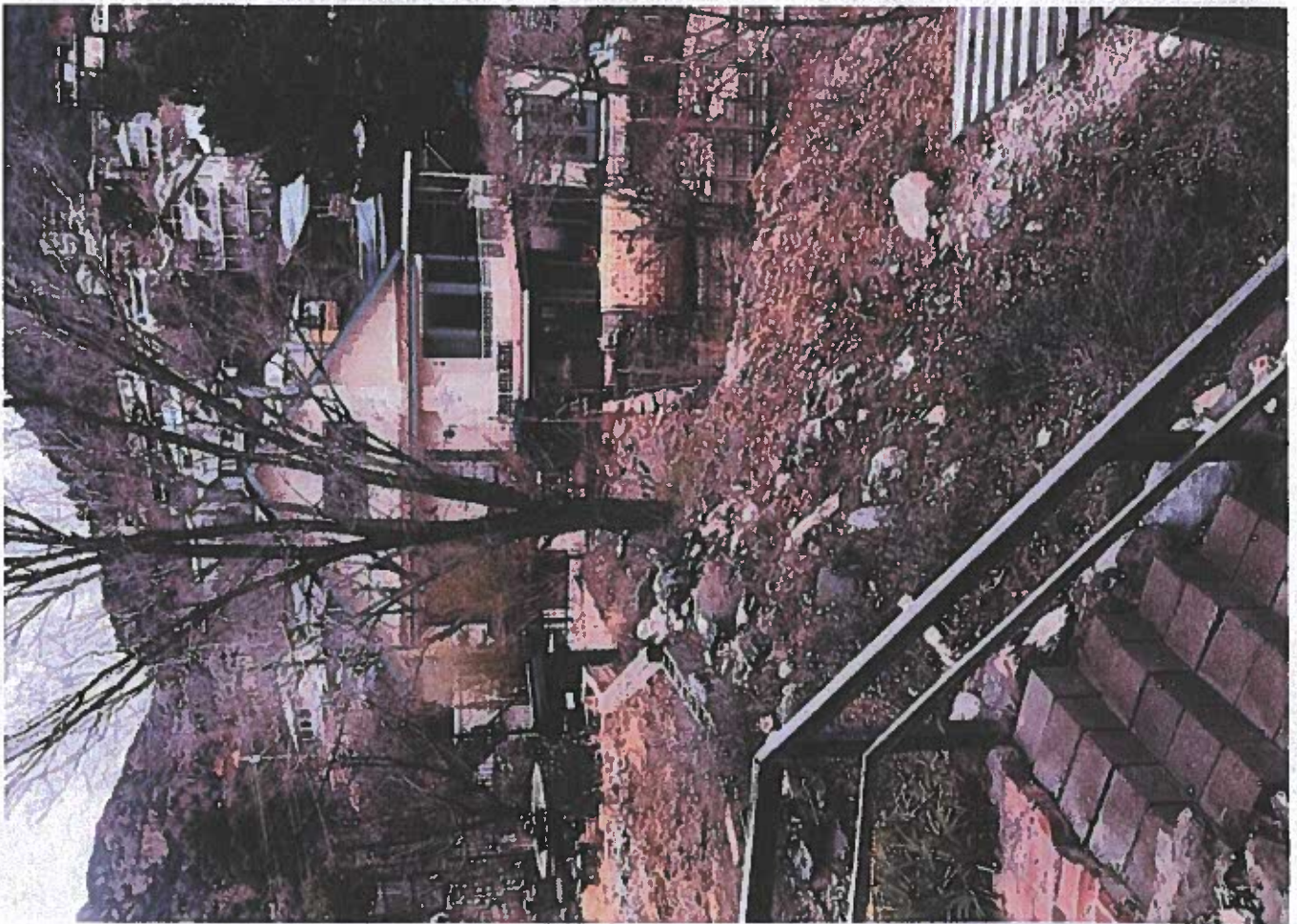
**WEBSITE:**  
[www.jerome.az.gov](http://www.jerome.az.gov)



**OFFICE PHONE:**  
928-634-7943



**TOWN HALL ADDRESS:**  
600 CLARK STREET





Neighbor Dillenberry



Neighbor Dillenberry

Cable Railing from Road "Clark"



Cable Railing on Clark St.





# **TOWN OF JEROME**

POST OFFICE BOX 335, JEROME, ARIZONA 86331

OFFICE (928) 634-7943 FAX (928) 634-0715

## **ZONING ADMINISTRATOR ANALYSIS DESIGN REVIEW BOARD**

**January 14, 2019**

### **ITEM 8: DECK, 222 FIRST AVE.**

**APPLICANT:** Andrea Allen

Applicant presents a design for a deck built at the lower level of the property, on the northwest side of the building facing Diaz Street. The deck as designed meets required setbacks for side yard in the Zoning Ordinance. It is pre-constructed; the applicant was ill advised this project would not require a permit. This is true for decks up to 120 square foot, they do not require a building permit per the 2012 International Residential Code. However, all exterior construction in Jerome require DRB & P&Z Review. This project as constructed is more than 120 square foot and may be recommended for a building permit as well.

Charlotte Page, Zoning Administrator



Founded 1876  
Incorporated 1899

## TOWN OF JEROME, ARIZONA

Jerome Town Hall and Civic Center  
600 Clark Street  
P.O. Box 335, Jerome, AZ 86331  
(928) 634-7943 FAX (928) 634-0715

### APPLICATION FOR DESIGN REVIEW

PLEASE PRINT LEGIBLY SO THAT PROCESSING WON'T BE DELAYED.

APPLICANT'S NAME: Andrea Allen  
MAILING ADDRESS: PO Box 1151 Jerome AZ 86331  
TELEPHONE: 303-518-1217 EMAIL: andreaallen@me.com  
PROJECT ADDRESS: 222 First Ave  
PARCEL NUMBER: 401-06-072A ZONE DISTRICT: C1  
APPLICATION FOR (Please describe the project): Wooden Platform (Deck) measuring 16.5 x 16.5 x 8" install on lower level of property

- I hereby apply for consideration and conditional approval by the Design Review Board.
- I understand that any approval is not valid until application fees are received by the Town.
- I have obtained and reviewed information on the criteria used in evaluation by these bodies and/or reviewed the application provisions in the Town Zoning Ordinance.
- I understand that this application will not be scheduled for consideration until all required materials have been submitted and reviewed.

APPLICANT'S SIGNATURE: \_\_\_\_\_

DATE: 1-7-19

#### TOWN USE BELOW

RECEIVED FROM: Andrea Allen

DATE: 1/7/19

Received the sum of \$ 50 as: ☒ Check No. 1801 ☐ Cash ☐ Credit Card

Per Fee schedule - Ordinance 332

BY: \_\_\_\_\_

FOR: DRB / Deck Review

Each application for design approval will be filed with the Zoning Administrator to be forwarded to the Design Review Board. The application for approval shall be submitted with copies of the plan. Each copy shall be on one or more sheets of paper, not measuring more than twenty-four (24) inches by thirty-six (36) inches, drawn to a scale not smaller than forty (40) feet to the inch. The following checklist is provided for the applicant's convenience to ensure inclusion of all necessary items.

- X   Plot plan or site layout drawn to scale
- NA   ~~Elevations drawn to scale~~
- X   Photos of site
- X   Photos of adjoining properties
- wood   Material samples
- wood   Color samples
- Additional information requested by Zoning Administrator
- Additional information requested by Design Review Board

### **SIGNS** – Please review ZONING ORDINANCE, SECTIONS §303, §304.F.4, and §509.

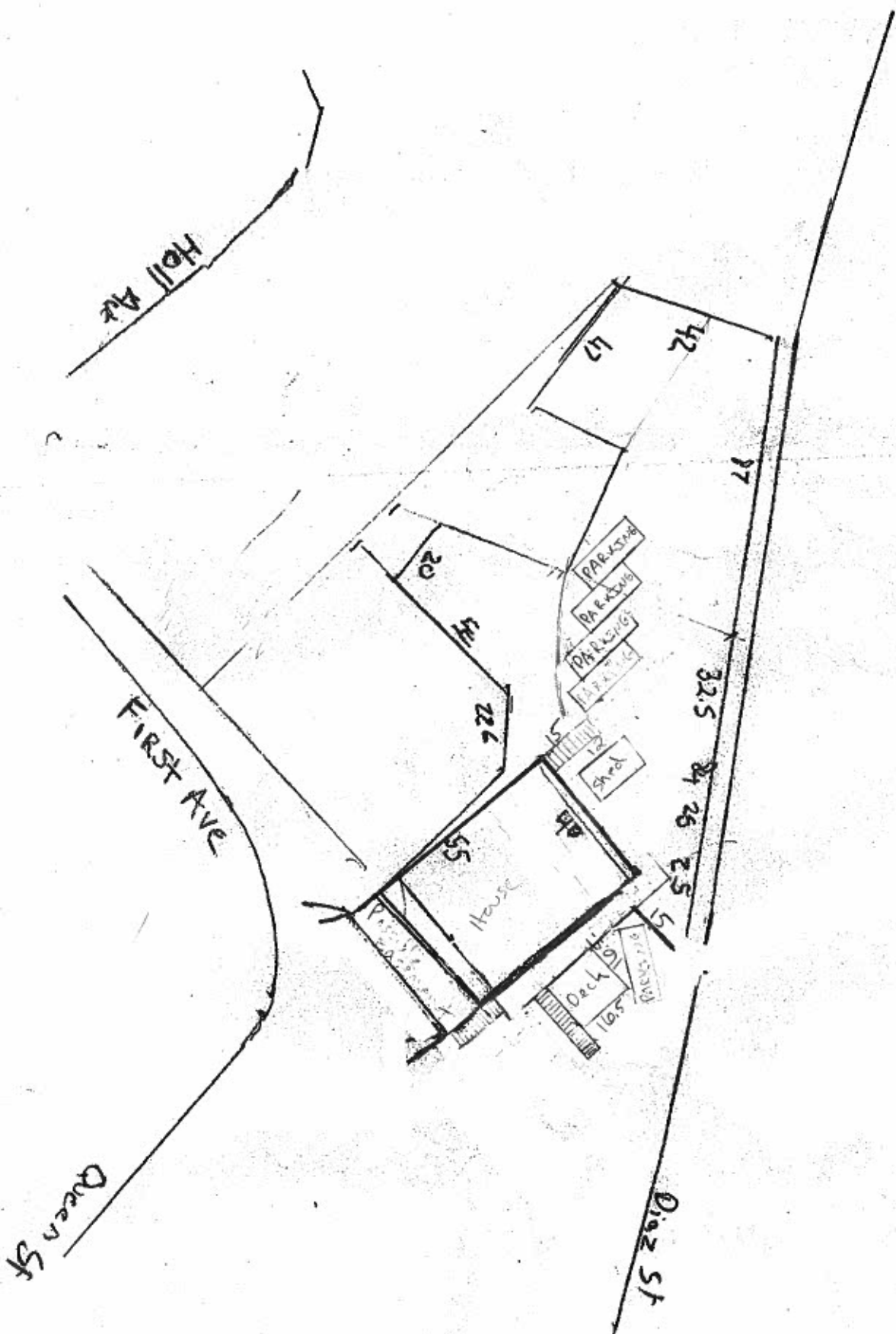
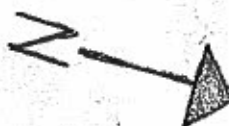
- Eight (8) copies drawn to scale, one (1) or more sheets of paper no larger than twenty-four (24) inches by thirty-six (36) inches
- Dimensions
- Materials
- Colors
- Lettering
- Structure
- Lighting of sign
- Drawing or photo of building façade indicating proposed location of sign
- Drawing or photo indicating all other existing signage

### **DEMOLITION** – Please review ZONING ORDINANCE, SECTIONS §304.D.2 and §304.F.3.

- Plot plan or site layout
- Legible photos showing all sides of the building or structure to be demolished
- Legible photos showing adjoining properties
- Any other information the Design Review Board may find necessary to establish compliance with this section

In passing on an application for demolition, partial demolition, or removal, the Design Review Board shall consider, among other things, the architectural or aesthetic quality or significance of the building or structure to the public interests of the Town.

Scale: 1"=40'  
222 FIRST AVE  
TERRONE, AZ 86331



222 First Ave



#### **4. EXISTING STRUCTURE**



## **5. ADJOINING PROPERTIES**

**NORTH: NA**

**EAST: Empty Lot**



**SOUTH: La Victoria Glass Blowing Studio. (The Yurt will sit 3 stories downhill, out of site, from La Victoria)**



**WEST: Driveway, Empty Lots**



## **PERSPECTIVES FROM VARIOUS VIEW POINTS IN JEROME**

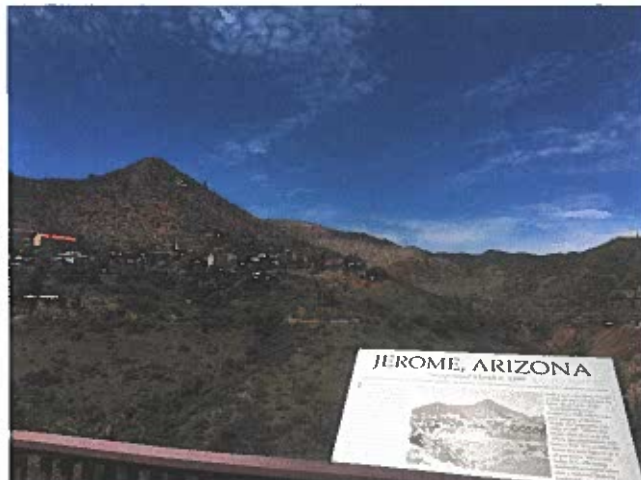
### **1. From Sunshine Hill**



### **2. From the Audrey Headframe**



### **3. From the Look Out Point on 89A**





# TOWN OF JEROME

POST OFFICE BOX 335, JEROME, ARIZONA 86331

OFFICE (928) 634-7943 FAX (928) 634-0715

## ZONING ADMINISTRATOR ANALYSIS DESIGN REVIEW BOARD

January 14, 2019

### ITEM 9: UPWARD EXPANSION – 2<sup>ND</sup> FLOOR, STORAGE ROOM ADDITION OVER EXISTING GARAGE 701 HULL ROAD

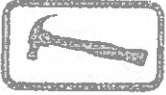
**ZA Analysis:** Applicant presents a design for preliminary review and consideration. A second story addition over existing garage. The associated home is considered a contributor in the historic overlay. Information from the parcel file indicates the garage was rebuilt with demolition of the wooden structure, installation of the foundation and rebuilding of the structure in 1990. The structure was duplicated in detail (per file notes). This garage would still be considered a legal non-conforming building, as two concrete walls were retained from the original structure. Increasing the height of this structure to allow a storage shed at the level of the terrace above would be within the current height restrictions allowed in the Zoning Ordinance.

DRB to consider preliminary and/or final approval. If approved, this project will be subject to P&Z review building permits and inspection for all phases of development.

Charlotte Page, Zoning Administrator



**THORNE and DIBBLE**  
GENERAL CONSTRUCTORS



*Builders of Fine  
Masonry and Wood Homes*

April 30, 1990

page 1

**Attention: Members of The Jerome Design Review Board**

**Subject:** Sue Goodman Residence, located at 700 Clark St. Jerome Arizona.

**Intent:** To remodel the residence and separate garage according to the following:

- 1.) Add a new foundation to residence and garage.
- 2.) Demolish and re-apply new exterior siding, trim and proposed exterior openings.
- 3.) Re-work interior walls according to enclosed plans.
- 4.) Bring electrical, mechanical, and plumbing up to local codes.
- 5.) Re-build wood portion of garage.

**Detailed Explanation of Items:**

- 1.) Original intent of project was to re-do some interior walls which we obtained a permit, new walls required foundation support. Since there was no foundation, only rotted off posts, we jacked the house up, poured a complete concrete foundation according to specs supplied by "Shepard Engineering".
- 2.) To install new foundation, we had to cut off rotting bottom of walls and exterior pine bevel siding @ that location. It was then noted the pine siding was dry rotted throughout and had no vapor barrier behind. Thorne & Dibble Const. and Sue Goodman hereby propose the following:
  - a.) Remove all existing pine bevel siding, pine window and corner trim and wood windows damaged beyond saving.
  - b.) Level and plumb all exterior walls and cover complete with  $\frac{1}{2}$ " plywood for shear strength. Wrap entire exterior with Tyvek housewrap to reduce air infiltration and allow water vapor to escape.
  - c.) Install "Colorloc" hardboard horizontal bevel siding, pre painted and sealed "Baytown Blue" (see sample). We propose this product in lieu of solid pine siding for its durability ( see "Old Quaker" Paint Co. correspondence ) Using "colorloc" siding is twice as expensive as painted pine.

(cont)



**THORNE and DIBBLE**  
GENERAL CONSTRUCTORS



*Builders of Fine  
Masonry and Wood Homes*

page 2

- d.) Install 1½" thick clear redwood in lieu of 3/4" pine @ all exterior locations, windows, corners etc. All original architectural details and sizing shall remain. 1½" clear redwood is considered for its stability and smoothness. All trim to be painted gloss white. ( see sample )
- e.) Replace all damaged windows with architecturally matching "Peachtree" double hung wood windows with exterior cladding. Old windows at dining room and kitchen sink remain.
- f.) Add window openings @ the following:
  - \* Double up 3'x4' windows @ lower level living.
  - \* Add 6'x5' fixed between 3'x5's @ main floor living.
  - \* Remove kitchen exterior door and add 2'x3' double hung.
  - \* Remove 2'x2' window in main floor bath and add 24" octagon stained glass unit.
  - \* Remove 2 ea aluminum windows in main floor closet and cover over with siding.
- 3.) See existing and proposed floor plans for information on interior wall remodel.
- 4.) All electrical, mechanical, plumbing shall be in compliance with present local codes. This portion of work has and will continue to be properly inspected by Barry the Jerome Building Inspector.
- 5.) Remove wooden structure of garage, leaving two concrete walls intact. It is the intent of contractor and owner to remodel the garage along with the main residence. Upon close inspection of the main supports and the unhealthy lean as seen in photo submitted, the decision was made to remove the wooden portion of the garage and install a complete foundation. The structure would then be duplicated in detail to its original extent. The exception would be installing a new 3'x6'8" door and replacing the 3 tab shingles on the north gable end with Colorloc hard-board bevel siding.

Let me stop for a moment to say as contractor I, Ron Dibble made this garage demolition decision and now realize I have stepped beyond the limits of the original permit that was applied for. This may be true for some items on the main residence as well. I offer my apologies and wish to express my intentions are good, however, as in remodeling one thing lead to another.

(cont)



**THORNE and DIBBLE**  
GENERAL CONSTRUCTORS



*Builders of Fine  
Masonry and Wood Homes*

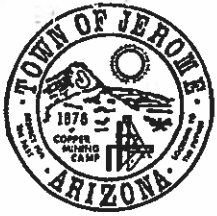
page 3

Thorne & Dibble acting as agent for owner, Sue Goodman respectfully ask for you to consider this proposal and allow us to work together towards the renewing of Jerome.

Thank you,

*Ron Dibble*

**Ron Dibble**  
DBA Thorne & Dibble General Constructors Ltd.



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Incorporated 1899

## TOWN OF JEROME, ARIZONA

\$100 -

Jerome Town Hall and Civic Center  
600 Clark Street  
P.O. Box 335, Jerome, AZ 86331  
(928) 634-7943 FAX (928) 634-0715

### APPLICATION FOR DESIGN REVIEW

PLEASE PRINT LEGIBLY SO THAT PROCESSING WON'T BE DELAYED.

APPLICANT'S NAME: DON + KATHI FEHER  
MAILING ADDRESS: P.O. BOX 244 JEROME AZ 86331  
TELEPHONE: 562 225 4498 EMAIL: feher.sailing@gmail.com  
PROJECT ADDRESS: 701 HULL ROAD  
PARCEL NUMBER: 401-08-011A and 011B ZONE DISTRICT: R1-5  
APPLICATION FOR (Please describe the project): STORAGE ROOM ADDITION OVER  
EXISTING GARAGE

- I hereby apply for consideration and conditional approval by the Design Review Board.
- I understand that any approval is not valid until application fees are received by the Town.
- I have obtained and reviewed information on the criteria used in evaluation by these bodies and/or reviewed the application provisions in the Town Zoning Ordinance.
- I understand that this application will not be scheduled for consideration until all required materials have been submitted and reviewed.

APPLICANT'S SIGNATURE: Don Feher DATE: JAN 7, 2019

#### TOWN USE BELOW

RECEIVED FROM: Kathy Feher DATE: 1/7/19  
Received the sum of \$ 100 as: ☐ Check No.          ☐ Cash ☒ Credit Card

Per Fee schedule - Ordinance 332

BY: Rosen FOR: Charlotte Page

## DESIGN REVIEW – Please review ZONING ORDINANCE, ALL OF SECTION §304

All applications for Design Review Board approval shall include the following:

Procedures and Criteria should include the following from the Zoning Ordinance, Section §304.F, where applicable.  
Please submit eight (8) copies of each:

1. Plot plan or site layout, including all improvements drawn to scale.
2. Legible photographs showing all sides of existing structures.
3. Legible photographs showing adjoining properties, buildings, and structures.
4. Exterior elevations drawn to scale.
5. Materials and color samples.
6. Signs, where applicable.
7. Buildings, structures, etc., to be demolished or removed.

Items reviewed by the Design Review Board include but are not limited to:

✓	PROPORTION
✓	OPENINGS
✓	PATTERN
✓	SPACING
✓	ENTRANCES
✓	PORCHES / DECKS / PROJECTIONS
✓	MATERIALS / TEXTURE / COLOR
✓	ROOFS
✓	ARCHITECTURAL DETAILS
✓	ACCESSORY FEATURES
N/A	LANDSCAPING
N/A	SCREENING
✓	VISUAL COMPATIBILITY
N/A	LIGHTING

Each application for design approval will be filed with the Zoning Administrator to be forwarded to the Design Review Board. The application for approval shall be submitted with copies of the plan. Each copy shall be on one or more sheets of paper, not measuring more than twenty-four (24) inches by thirty-six (36) inches, drawn to a scale not smaller than forty (40) feet to the inch. The following checklist is provided for the applicant's convenience to ensure inclusion of all necessary items.

- ☒ Plot plan or site layout drawn to scale
- ☒ Elevations drawn to scale
- ☒ Photos of site
- ☒ Photos of adjoining properties
- ☒ Material samples
- ☒ Color samples
- ☐ Additional information requested by Zoning Administrator
- ☐ Additional information requested by Design Review Board

**SIGNS** – Please review ZONING ORDINANCE, SECTIONS §303, §304.F.4, and §509.

N/A

- ☐ Eight (8) copies drawn to scale, one (1) or more sheets of paper no larger than twenty-four (24) inches by thirty-six (36) inches
- ☐ Dimensions
- ☐ Materials
- ☐ Colors
- ☐ Lettering
- ☐ Structure
- ☐ Lighting of sign
- ☐ Drawing or photo of building façade indicating proposed location of sign
- ☐ Drawing or photo indicating all other existing signage

**DEMOLITION** – Please review ZONING ORDINANCE, SECTIONS §304.D.2 and §304.F.3.

N/A

- ☐ Plot plan or site layout
- ☐ Legible photos showing all sides of the building or structure to be demolished
- ☐ Legible photos showing adjoining properties
- ☐ Any other information the Design Review Board may find necessary to establish compliance with this section

In passing on an application for demolition, partial demolition, or removal, the Design Review Board shall consider, among other things, the architectural or aesthetic quality or significance of the building or structure to the public interests of the Town.

**PLEASE NOTE:**

After Planning & Zoning Commission approval and Design Review Board approval, building projects must then be submitted to the Building Inspector for review, approval, and issuance of building permit(s).

**REGARDING BUILDING PERMITS:**

Additional fees are required for building permits to reimburse the Town for costs of providing plan review and construction inspection services. Please refer questions to the Building Inspector. Commercial projects and some residential projects generally require plans to be prepared and/or sealed by an Arizona registrant, such as a licensed architect or engineer, per A.R.S. §32-144. Licensed contractors are required for construction projects per A.R.S. §32-1121.



**STAFF CONTACT:**  
[c.page@jerome.az.gov](mailto:c.page@jerome.az.gov)



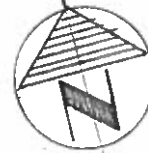
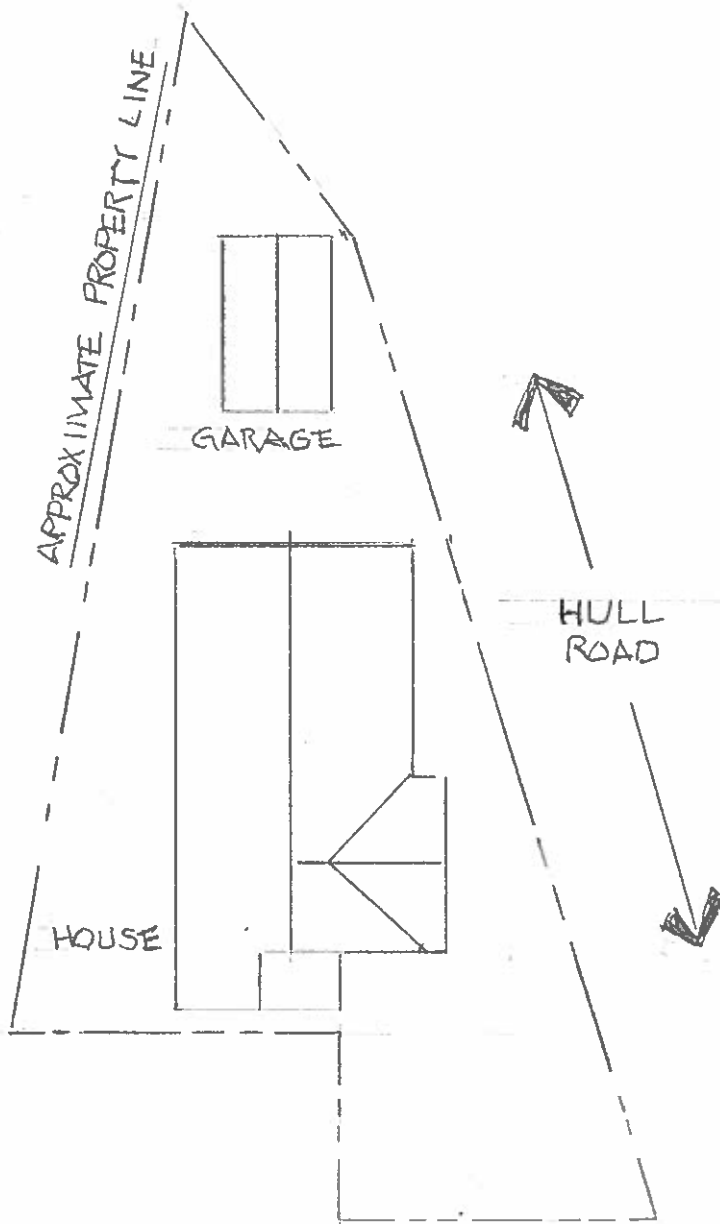
**WEBSITE:**  
[www.jerome.az.gov](http://www.jerome.az.gov)



**OFFICE PHONE:**  
928-634-7943



**TOWN HALL ADDRESS:**  
600 CLARK STREET

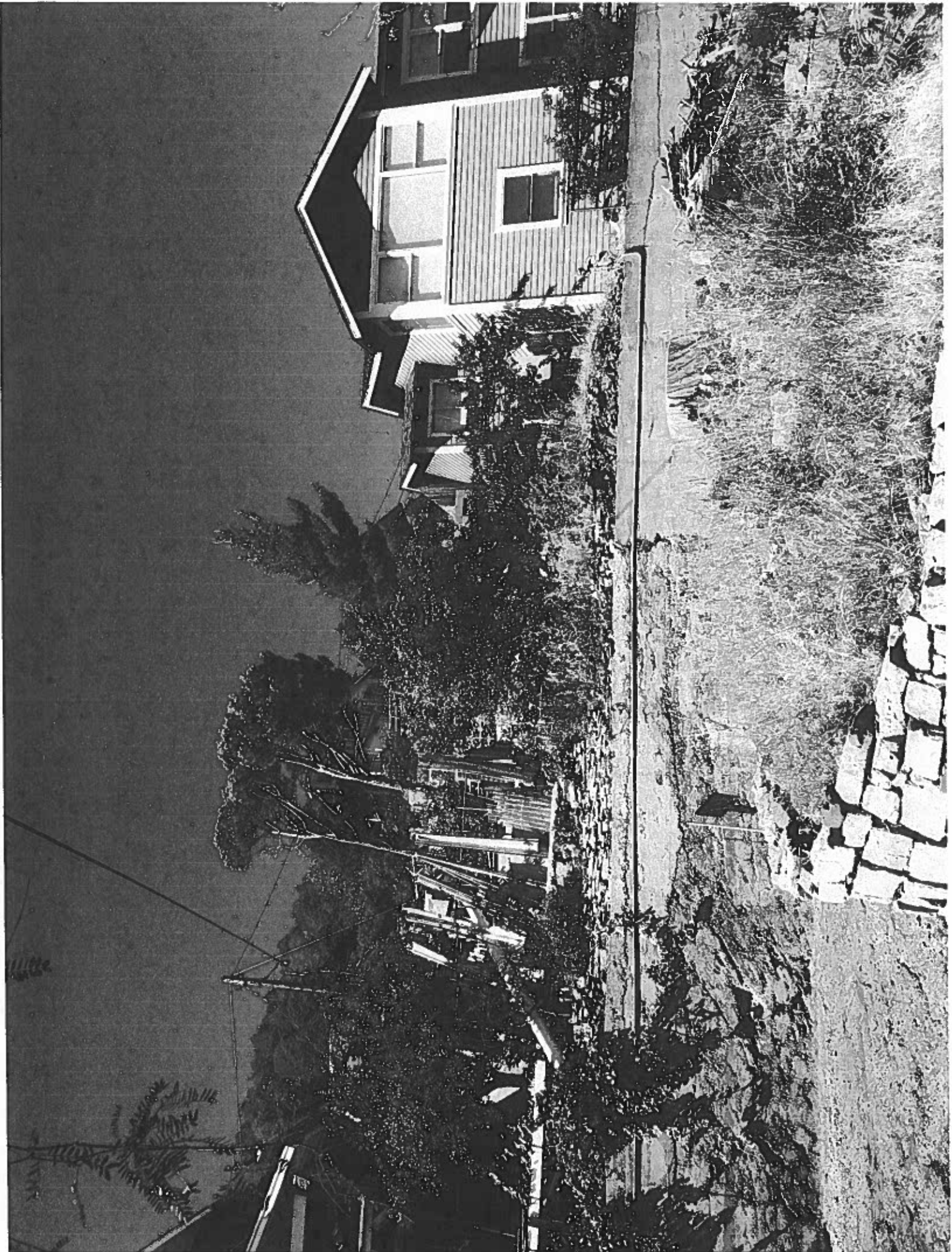


SITE PLAN      NOT TO SCALE

DON AND KATHI FEHER  
701 HULL ROAD, JEROME, AZ 86331  
(562) 225-4498











# TOWN OF JEROME

POST OFFICE BOX 335, JEROME, ARIZONA 86331

OFFICE (928) 634-7943 FAX (928) 634-0715

## ZONING ADMINISTRATOR ANALYSIS DESIGN REVIEW BOARD

January 14, 2019

### ITEM 10: NEW CONSTRUCTION 3400 + SQ FT HOME ON DUNDEE, ADDRESS TBD

APPLICANT: Lee Christensen for

Scott & Wendy Prior  
3694 Via Bernado  
Oceanside CA 92056

APN: 401-11-019S

Applicant presents a design for preliminary review and consideration. The new home proposed will be located between addresses 175 and 275 Dundee. The structure will be three stories utilizing the elevation changes on the lot. The main floor is at street level, the garage level is below the living space and a loft space is planned above the main living space. The exterior is planned to be a mix of stucco, some siding and some corrugated steel, matching the roof material. DRB to consider preliminary approval and/or recommend additional items for submission. Pictures of neighbor properties are provided by the applicant, with site plan and proposed elevations. The design has both peak and shed roofs with porches off the main level toward the rear of the lot.

DRB to consider preliminary drawings for recommendations and/or preliminary approval. This project will be subject to P&Z review & approval in preliminary and final submission phases. Building permits and inspection for all phases of development will be required.

Charlotte Page  
Zoning Administrator



Founded 1876  
Incorporated 1899

## TOWN OF JEROME, ARIZONA

Jerome Town Hall and Civic Center  
600 Clark Street  
P.O. Box 335, Jerome, AZ 86331  
(928) 634-7943 FAX (928) 634-0715

### APPLICATION FOR DESIGN REVIEW

PLEASE PRINT LEGIBLY SO THAT PROCESSING WON'T BE DELAYED.

APPLICANT'S NAME: SCOTT & WENDY PRIOR  
MAILING ADDRESS: 3694 VIA BERNADO, Oceanside, CA 92056  
TELEPHONE: \_\_\_\_\_ EMAIL: \_\_\_\_\_  
PROJECT ADDRESS: DUNDEE AVENUE  
PARCEL NUMBER: 401-11-019 S ZONE DISTRICT: R-15  
APPLICATION FOR (Please describe the project): NEW RESIDENCE SINGLE FAMILY  
HOME 3400 sq +

- I hereby apply for consideration and conditional approval by the Design Review Board.
- I understand that any approval is not valid until application fees are received by the Town.
- I have obtained and reviewed information on the criteria used in evaluation by these bodies and/or reviewed the application provisions in the Town Zoning Ordinance.
- I understand that this application will not be scheduled for consideration until all required materials have been submitted and reviewed.

APPLICANT'S SIGNATURE: [Signature] DATE: 1-7-19

#### TOWN USE BELOW

RECEIVED FROM: Lee Christensen DATE: 1-7-19  
Received the sum of \$ 200 — as: ☒ Check No. 1939 ☐ Cash ☐ Credit Card

Per Fee schedule – Ordinance 332

BY: [Signature]

FOR: DRB Review New Home  
on Dundee  
Between 175 Dundee  
& 275 Dundee

Each application for design approval will be filed with the Zoning Administrator to be forwarded to the Design Review Board. The application for approval shall be submitted with copies of the plan. Each copy shall be on one or more sheets of paper, not measuring more than twenty-four (24) inches by thirty-six (36) inches, drawn to a scale not smaller than forty (40) feet to the inch. The following checklist is provided for the applicant's convenience to ensure inclusion of all necessary items.

- \_\_\_\_\_ Plot plan or site layout drawn to scale
- \_\_\_\_\_ Elevations drawn to scale
- \_\_\_\_\_ Photos of site
- \_\_\_\_\_ Photos of adjoining properties
- \_\_\_\_\_ Material samples
- \_\_\_\_\_ Color samples
- \_\_\_\_\_ Additional information requested by Zoning Administrator
- \_\_\_\_\_ Additional information requested by Design Review Board

**SIGNS** – Please review ZONING ORDINANCE, SECTIONS §303, §304.F.4, and §509.

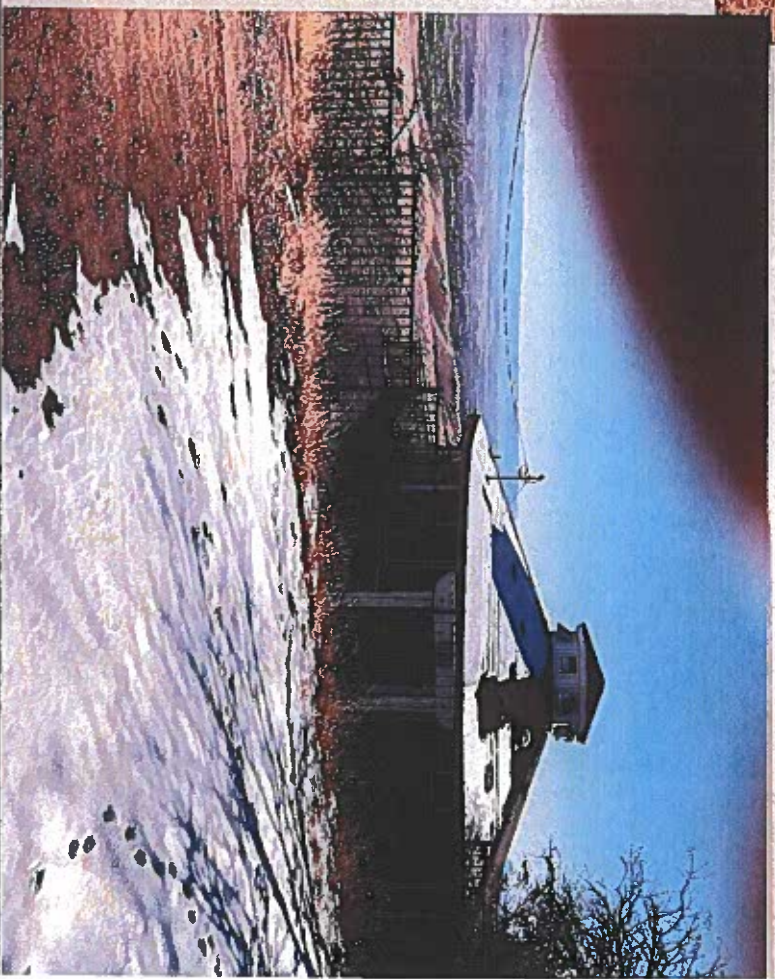
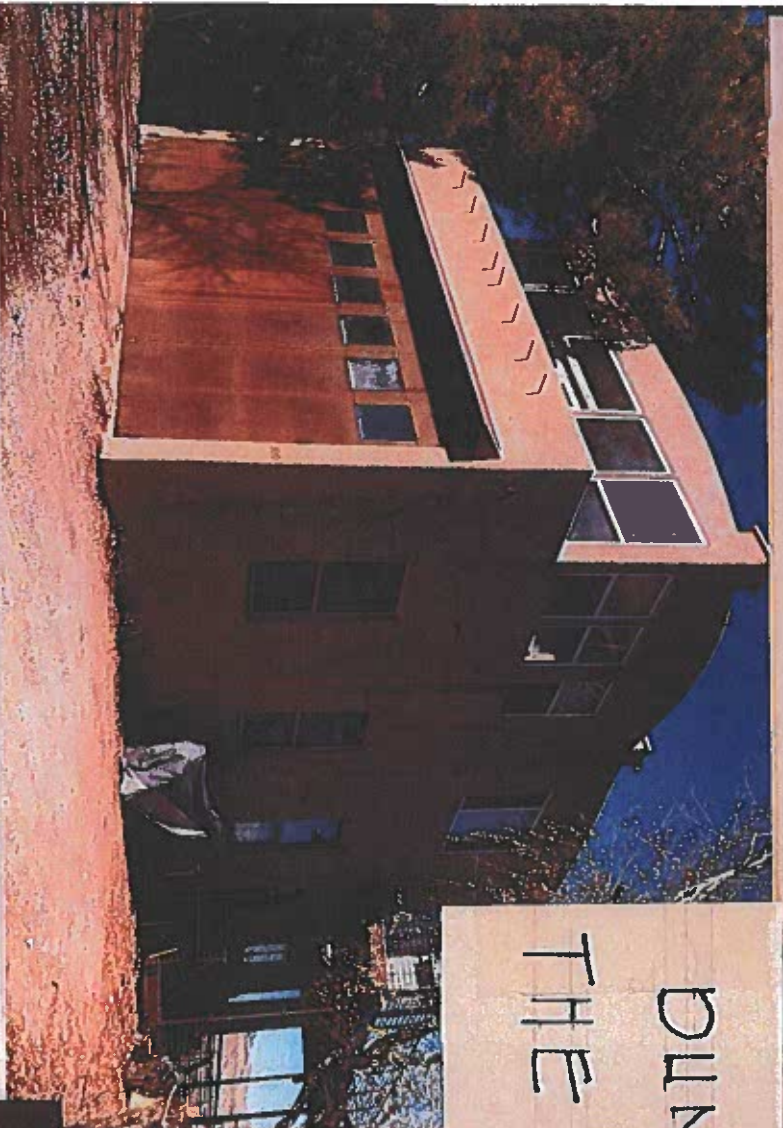
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- \_\_\_\_\_ Dimensions
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- \_\_\_\_\_ Lettering
- \_\_\_\_\_ Structure
- \_\_\_\_\_ Lighting of sign
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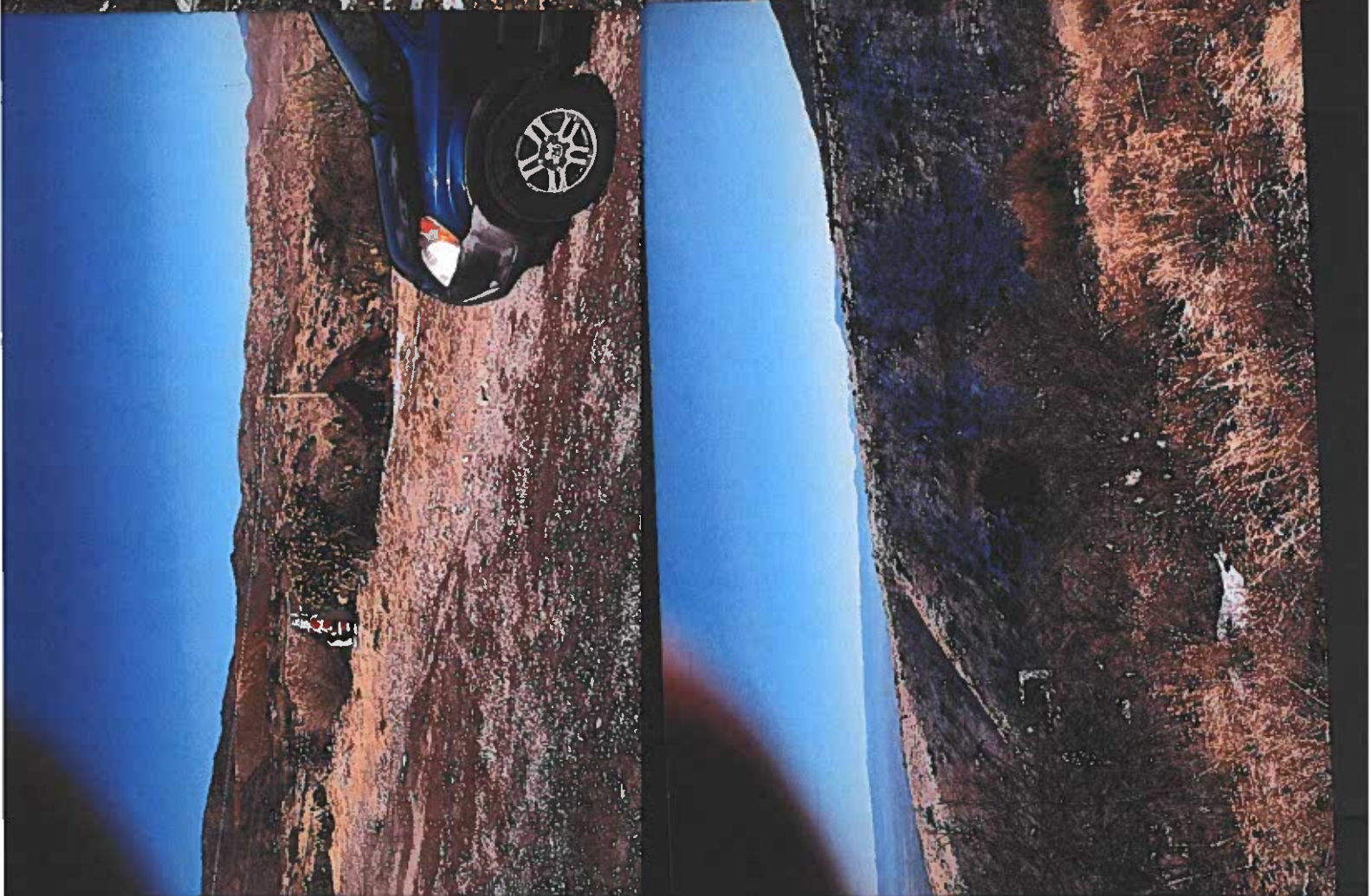
**DEMOLITION** – Please review ZONING ORDINANCE, SECTIONS §304.D.2 and §304.F.3.

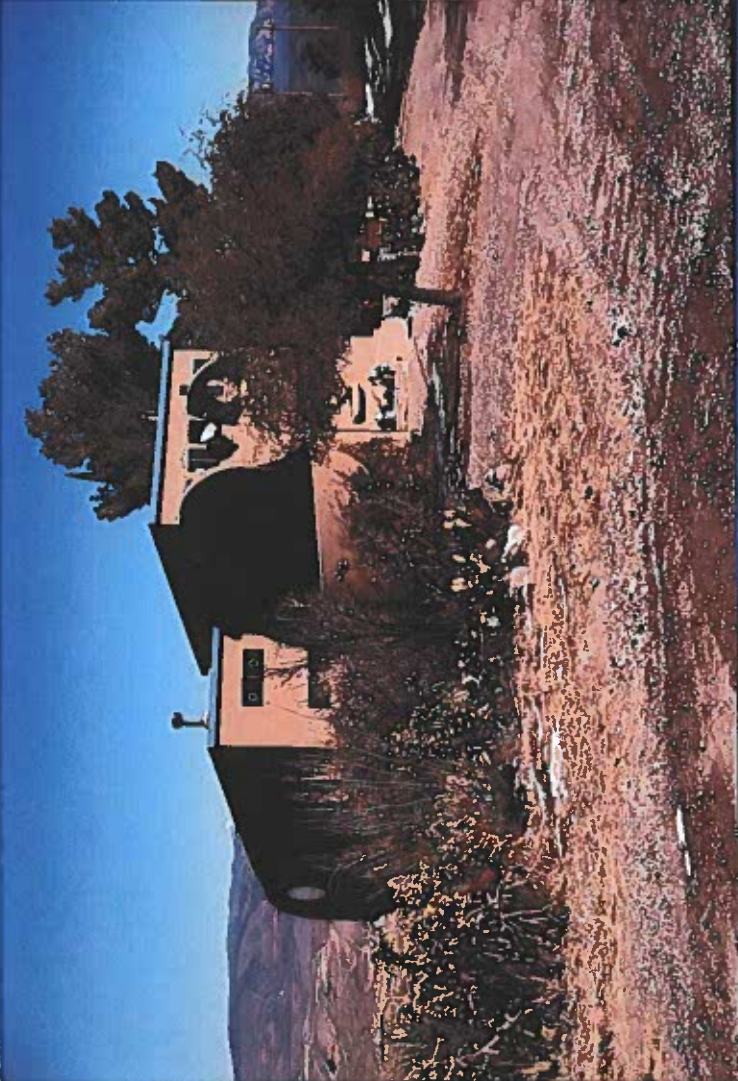
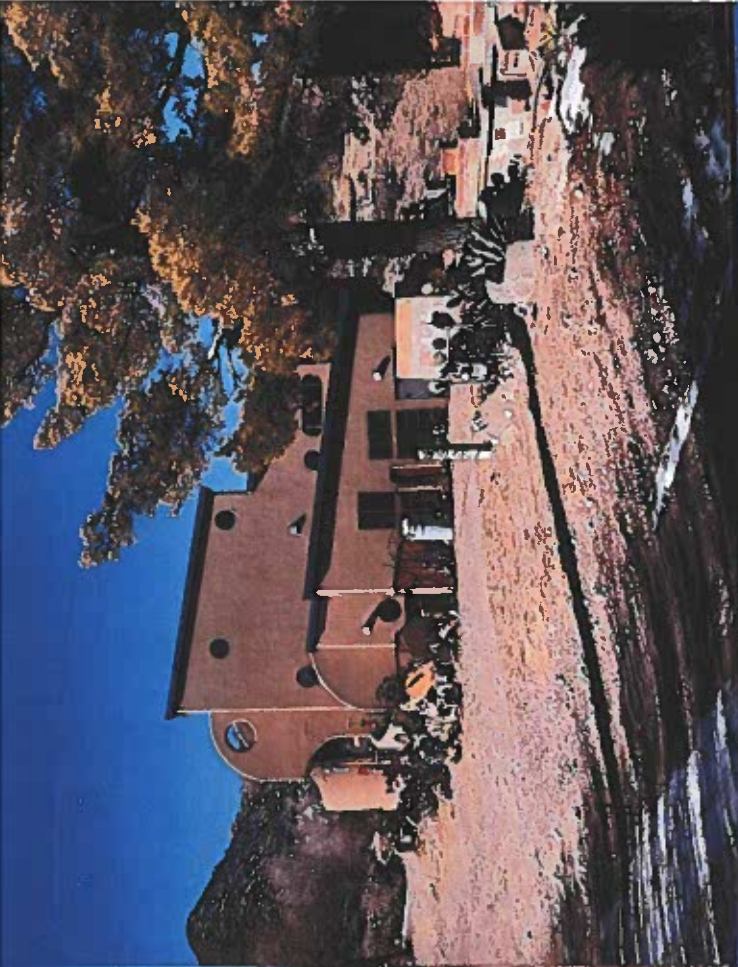
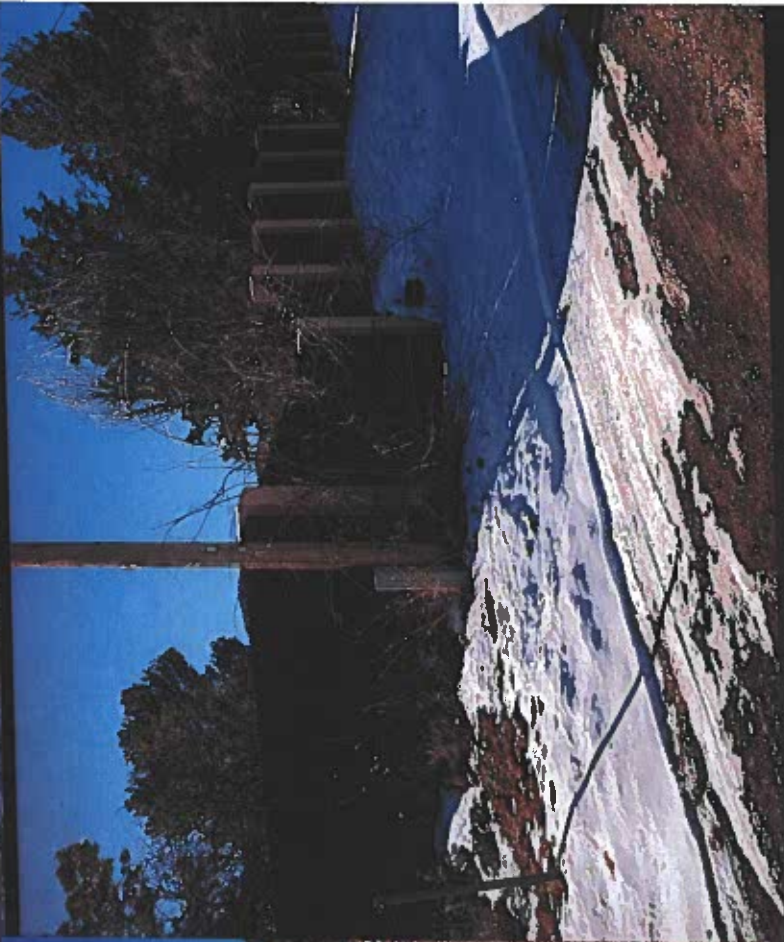
- \_\_\_\_\_ Plot plan or site layout
- \_\_\_\_\_ Legible photos showing all sides of the building or structure to be demolished
- \_\_\_\_\_ Legible photos showing adjoining properties
- \_\_\_\_\_ Any other information the Design Review Board may find necessary to establish compliance with this section

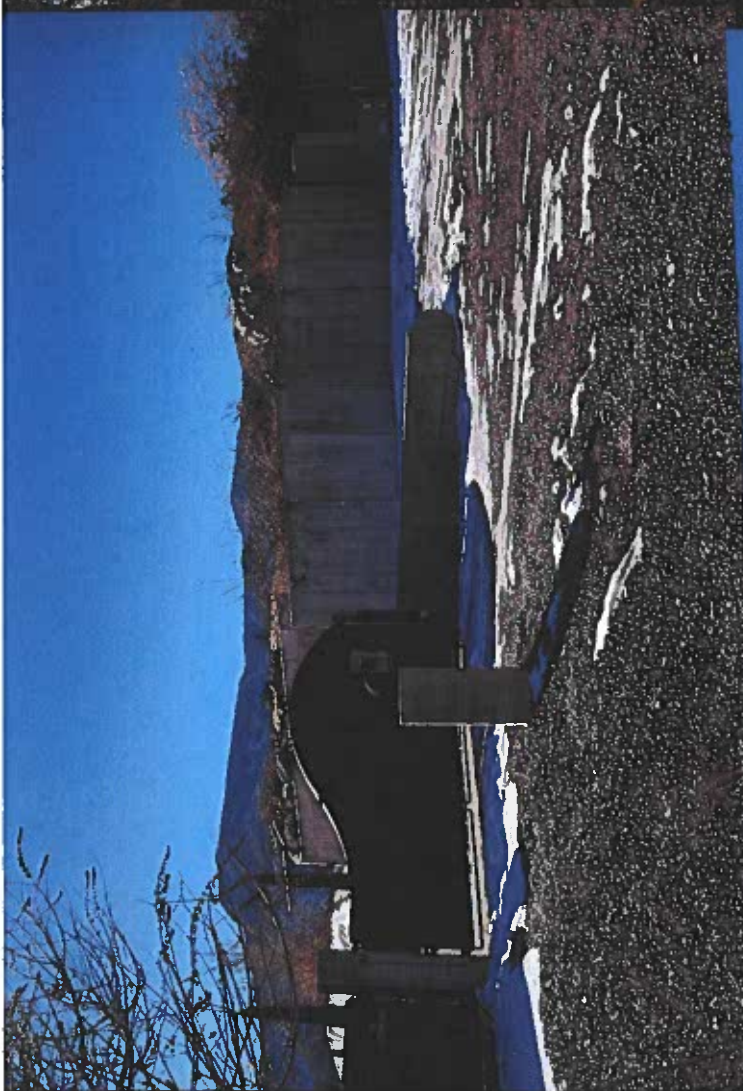
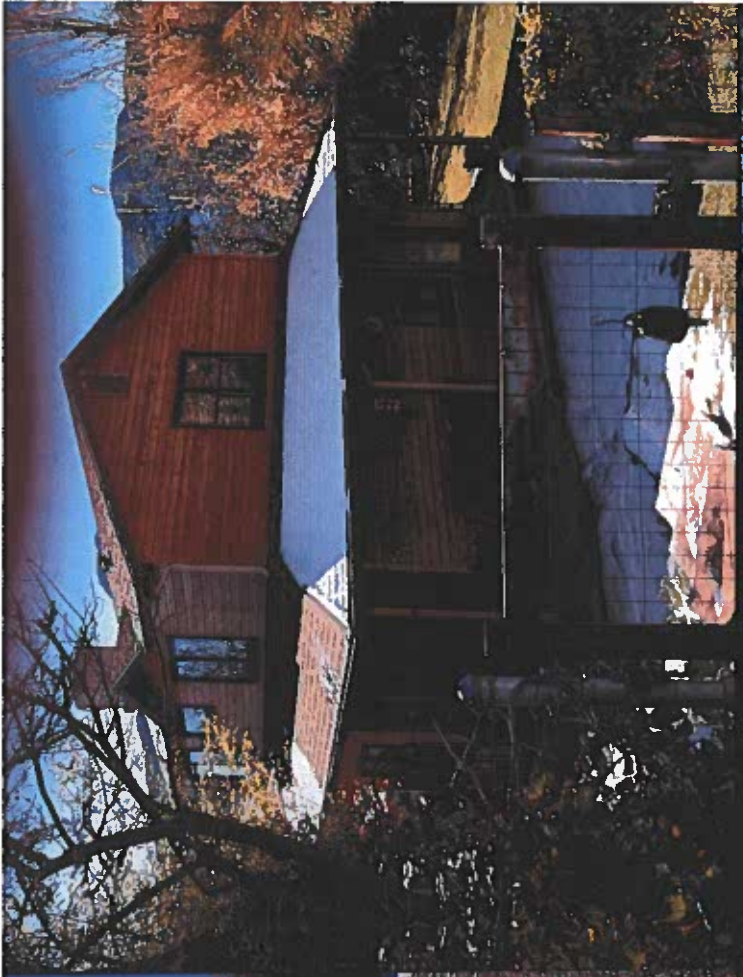
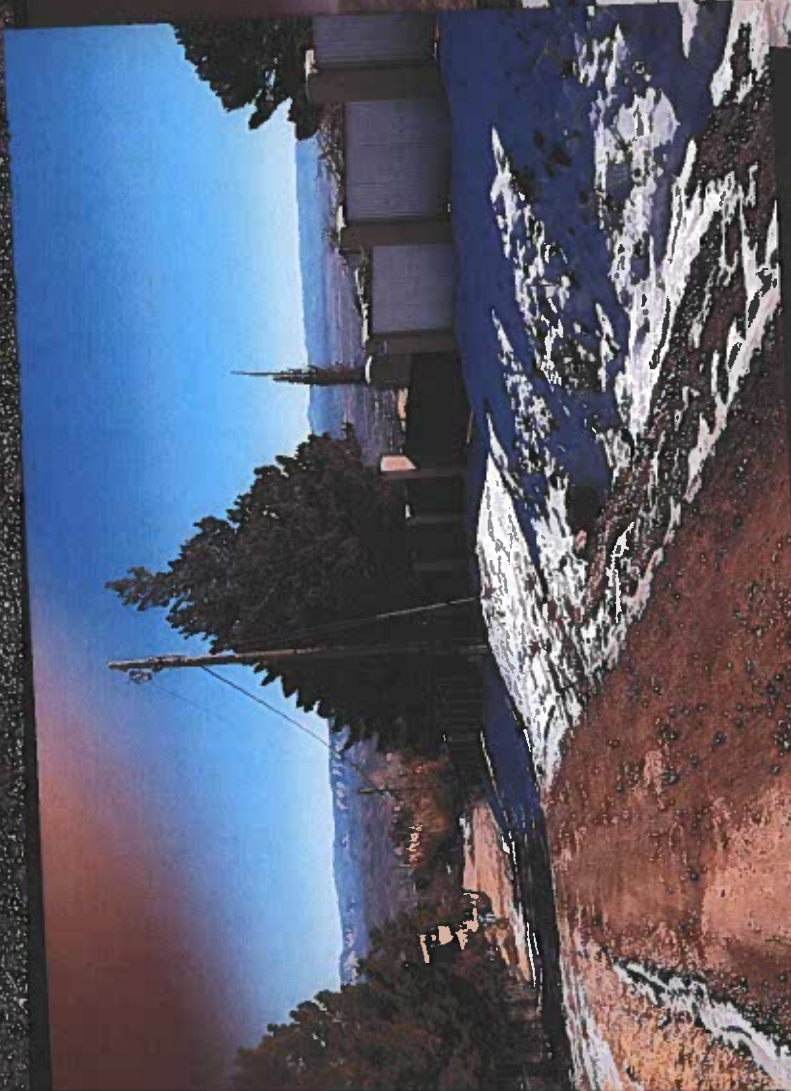
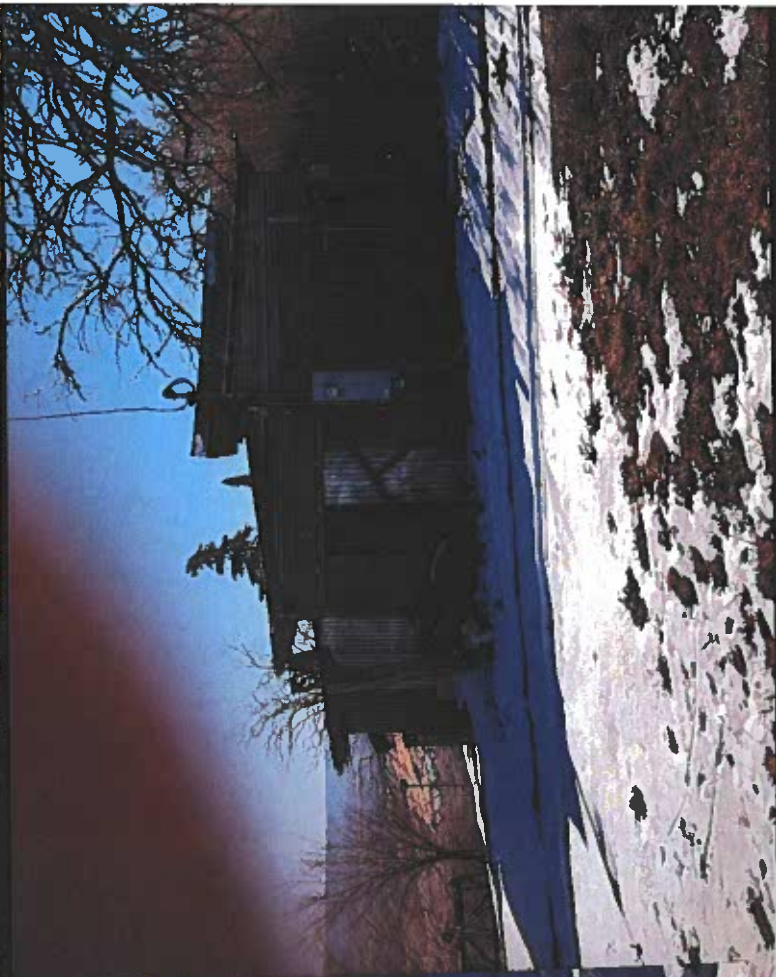
In passing on an application for demolition, partial demolition, or removal, the Design Review Board shall consider, among other things, the architectural or aesthetic quality or significance of the building or structure to the public interests of the Town.

DUNDEE AVENUE  
<sup>for</sup>  
THE PRIOR RESIDENCE











# TOWN OF JEROME

POST OFFICE BOX 335, JEROME, ARIZONA 86331

OFFICE (928) 634-7943 FAX (928) 634-0715

## ZONING ADMINISTRATOR ANALYSIS DESIGN REVIEW BOARD

January 14, 2019

### TEM 11: SECTION 509 – SIGNS

DRB to review Zoning Ordinance, Article V, Section 509 SIGNS. P&Z advanced to Council Text Amendments with regard to Temporary Signs. Council was unable to support changes, asked P&Z to revise, P&Z seeks DRB input, prior to any further work on this change to the Ordinance.

Clarifications are to be suggested:

- A-Frame day signs, on private property (vestibule) ok? Allowed on sidewalk? What should be enforced?
- Daily Special Signs, chalk boards, can they be outside?
- Menu Boards, is this a special privilege based on business type or an approved sign? Must be posted inside or are they inside if they are in a display case?
- Logo/business names advertised inside window to be 2' away from glass – current in Z Ordinance
- Temp sign sizes – do not restrict special event banners same as business signs
- What about recurring special event 'art walk', Historical Soc, Fire or Chamber events? Permit?

### **Public Input from Council Regular Meeting of November 13, 2018**

Council may conduct the second reading of, and possibly adopt, Ordinance 443, amending the Jerome Zoning Ordinance regarding temporary signs. The Planning & Zoning Commission conducted a public hearing on this amendment on September 5, 2018, and has recommended its enactment by Council.

*Ms. Page reviewed the provisions of this Ordinance and answered questions from Council. The question of the ordinance's application to "daily specials" or sandwich board signs was brought up. Several members of the public requested to speak.*

*8:50 Margie Hardie, Jerome resident and member of the Planning & Zoning Commission, spoke about the Commission's reasoning for this ordinance.*

*8:52 Liz Gale, Jerome business owner, stated that she didn't believe we needed an application process for temporary signs.*

*8:53 Nick Bartell, resident and business owner, said that he understood the difference between daily specials signs versus temporary signs, however it would be "a disaster for tax revenues" and it would kill businesses if daily specials signs were not allowed*

*8:54 Aaron Bailey, Jerome business owner, said that he understood the concern regarding temporary signs and he would work with the Town. He added that temporary signs do increase his business, and his business would suffer without them.*

*8:56 Rebekah Kennedy, resident and business owner, spoke about her mannequin that she places in her alcove and not on the sidewalk. She added that she believes that A-frame signs are already prohibited on the sidewalk.*

*8:59 Jane Moore, resident and business owner, and member of the Planning & Zoning Commission, recommended that this ordinance be sent back to Planning & Zoning, and said that she regretted that no business people had shown up at those meetings when this was discussed. She added that one reason for this ordinance was to avoid clutter.*

*9:01 Liz Gale spoke again and said that the previous Zoning Administrator had been very clear about not putting a sign on the sidewalk.*

*Ms. Gallagher noted that there is a provision in Chapter 10 of the Town Code stating that one cannot obstruct sidewalks or streets.*

***Motion to send this ordinance back to P & Z for Clarification***

**Vice Mayor Harvey moved and COUNCILMEMBER Dillinberger SECONDED with all voting in favor of the motion.**

*Nick Bartell suggested that this be brought to the Chamber of Commerce for their input.*



# TOWN OF JEROME

POST OFFICE BOX 335, JEROME, ARIZONA 86331  
(928) 634-7943 FAX (928) 634-0715

Founded 1876  
Incorporated 1899

## ORDINANCE NO. 443

### AN ORDINANCE OF THE TOWN COUNCIL OF THE TOWN OF JEROME, YAVAPAI COUNTY, ARIZONA, AMENDING SECTION 509, "SIGNS," OF ARTICLE V, "USE REGULATIONS," OF THE JEROME ZONING ORDINANCE REGARDING TEMPORARY SIGNS

WHEREAS, the Jerome Planning & Zoning Commission held a public hearing on September 5, 2018, regarding certain changes to the Jerome Zoning Ordinance regarding temporary signs; and

WHEREAS, the Commission has recommended that the Zoning Ordinance be so amended;

NOW, THEREFORE, BE IT ORDAINED BY THE TOWN COUNCIL OF THE TOWN OF JEROME, YAVAPAI COUNTY, ARIZONA, AS FOLLOWS:

Section 1 Item 19 of Paragraph B, "Definitions," of Section 509, "Signs," of Article V, "Use Regulations," of the Jerome Zoning Ordinance is hereby amended as follows (deletions in ~~strikeout-text~~, additions in UNDERLINED CAPS):

19. Sign, Temporary - A sign displayed for not more than forty five (45) consecutive days ~~or a total of ninety (90) days in a calendar year.~~

Section 2 Item 8 of Paragraph G, "Regulations Applicable to Signs in Commercial and Industrial Zones," of Article V, "Use Regulations," of the Jerome Zoning Ordinance is hereby amended as follows (deletions in ~~strikeout-text~~, additions in UNDERLINED CAPS):

8. Temporary signs, such as "sale" signs are allowed in addition to other signs. Temporary signs must meet all restrictions for signs in this section in addition to the following:
- a. No temporary sign may exceed eight (8) square feet.
  - b. ALL TEMPORARY SIGNS SHALL REQUIRE AN APPLICATION TO BE FILED WITH THE ZONING ADMINISTRATOR.
  - c. ONE TEMPORARY SIGN IS ALLOWED PER 45-DAY PERIOD.
  - d. MAXIMUM NUMBER OF OCCURRENCES SHALL NOT EXCEED THREE (3) TIMES PER CALENDAR YEAR.
  - e. ~~No business may display a temporary sign more than ninety (90) days per calendar year, or forty five (45) consecutive days.~~
  - f. ~~No permit is required for temporary signs.~~

Date of first reading \_\_\_\_\_

Date of adoption \_\_\_\_\_

Voting record at adoption

	MOVED	SECONDED	AYE	NAY	ABSENT	ABSTAIN

Section 3. Following its adoption, this Ordinance shall be published by the Town Clerk in accordance with the requirements of A.R.S. § 39-203 *et seq.*

Section 4. All ordinances or parts of ordinances that are in conflict with the provisions of this Ordinance are hereby repealed to the extent of their inconsistency herewith.

Section 5. Should any section or provision of this Ordinance be declared invalid by a court of competent jurisdiction, such decision shall not affect the validity of this Ordinance, any provision incorporated by reference and any other provision of the Town Code as a whole or any part thereof other than the part so declared invalid.

PASSED AND ADOPTED BY THE TOWN COUNCIL OF THE TOWN OF JEROME, YAVAPAI COUNTY, ARIZONA,  
THIS \_\_\_\_ DAY OF \_\_\_\_\_ 2018.

\_\_\_\_\_  
Mayor

ATTEST:

APPROVED AS TO FORM:

\_\_\_\_\_  
Candace Gallagher, Town Manager/Clerk

\_\_\_\_\_  
William J. Sims, Esq  
Town Attorney



# TOWN OF JEROME

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OFFICE (928) 634-7943 FAX (928) 634-0715

## ZONING ADMINISTRATOR ANALYSIS DESIGN REVIEW BOARD

**January 14, 2019**

### **ITEM 12: CERTIFICATE OF NO EFFECT**

DRB to review draft text amendment to Zoning Ordinance, Article III, Section 304 DESIGN REVIEW.

Possible addition of Certificate of no Effect. This item has been reviewed by P&Z and the Commission asks for DRB review *before a public hearing is scheduled. Draft attached.*

## DRAFT TEXT AMENDMENT: CERTIFICATES OF NO EFFECT

### Definition: Certificate of No Effect

A Certificate of No Effect (CNE) is an over the counter path for construction approval on commercial and residential properties when the proposed work does not affect the architectural features of a building. CNE's are either issued by the Zoning Administrator or implied by Building Permits allowed without board reviews. Projects eligible for CNE's do not require a public review before the Planning & Zoning Commission or the Design Review Board.

### SECTION 304.D.4

Except for an application for a Certificate of No Effect under Section 304.F.8, upon receipt of a complete application for Final Approval, the Zoning Administrator shall forward it to the chairman of the Design Review Board. The application shall be reviewed by the Design Review Board within the time limits established in Subsection F of this Section. The Zoning Administrator shall notify the applicant of the time and place of the meeting

### SECTION 304.F.1

The Design Review Board shall review a submitted application for design approval for all new construction and/or installation of Accessory Features except for projects eligible for Certificates of No Effect under section 304.F.8. In doing so, both the Design Review Board and the applicant shall use photographs, lithographs and the like of Jerome, to support their findings. If photographs, etc., are unavailable, then the determination or finding shall be based on the works of a recognized historic preservation authority; such as, but not limited to, text books or architect/historian. Each of the following criteria must be satisfied before an application can be approved. ...

### SECTION 304.F.8 (NEW)

#### CERTIFICATES OF NO EFFECT

An application for Certificate of No Effect shall be filed with the Zoning Administrator on a form prescribed by the Planning & Zoning Department which shall include the following:

1. Name, Address and contact information for the Property Owner(s)
2. Parcel Number & Zone
3. Description of the proposed project, materials and samples of colors selected
4. Signature space to indicate acceptance of proposal by Zoning Administrator with date, or recommendation for additional review.

The Zoning Administrator shall review applications for Certificates of No Effect with regard to protecting the historic character of the subject property and the historic status of the Town of Jerome. If accepted these documents and submitted details shall be filed with property files.

Applicants shall have six (6) months to act on a Certificate of No Effect or the application will expire. Zoning Administrator shall visit the project within six (6) months and confirm project completion, photograph and complete file or expire the Certificate of No Effect by notifying applicant, in writing.

Only the following types of projects shall be eligible for consideration of Certificates of No Effect:

1. Projects eligible for Building Permits that do not require P&Z or DRB Review
2. In-Kind repair or replacement: roofs, doors, windows, broken glass, trim repair, stairwells, porch, repainting similar colors on historic properties
3. Paint on non-historic properties
4. Repairs to deck boards, planking only or replacing wood with Trex material. Permit required for any replacement of deck joists, beams or posts.
5. Stabilizing deteriorated or damaged masonry, wood or metal
6. Concrete or paver bricks used for driveway and/or landscaping
7. Retaining walls less than 4' tall
8. Sidewalk repairs
9. Repair for damage, may be referred for building permit depending on details

At the discretion of the Zoning Administrator, any application may require additional review by the Design Review Board and/or the Planning and Zoning Commission.

Zoning Administrator may take up to 10 days to review details, ask for additional input and make site visits. Projects accepted as submitted may begin work as soon as Zoning Administrator approves and signs off the application. Projects that require additional review, will be notified within 10 days and scheduled at the earliest possible board meeting(s).

If the Zoning Administrator determines the proposed work will in any way diminish, eliminate or adversely affect the historic character of the subject property or historic status of the Town of Jerome, Certificate of No Effect will NOT be issued. In such cases, applicant shall be required to submit for full review of Design Review Board and Planning and Zoning Commission as appropriate.

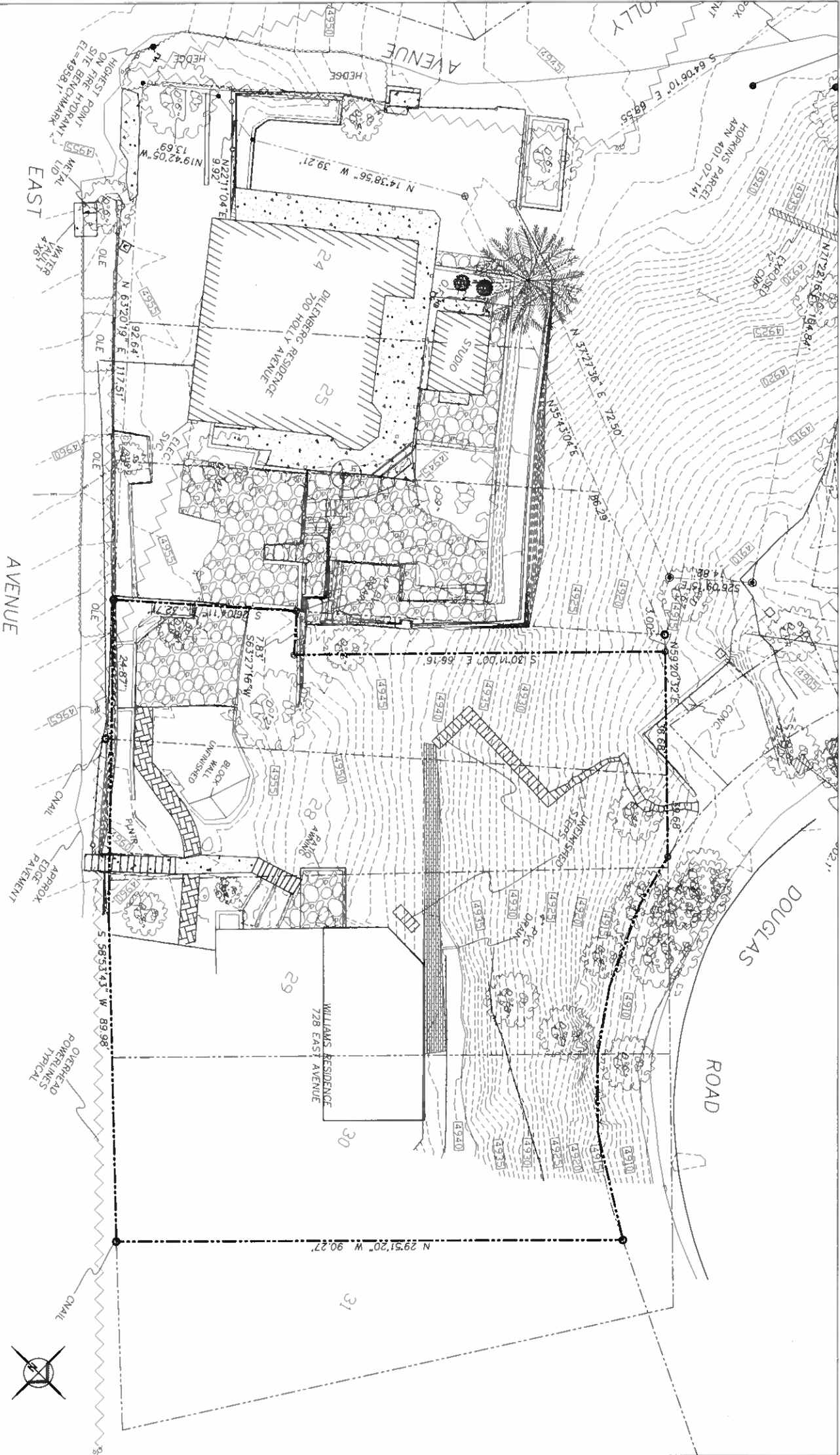
Zoning Administrator shall not issue Certificates of No Effect, for any items not specifically named in SECTION 304.F.8.

#### SECTION 304.G

1. When, in the opinion of the Design Review Board, upon hearing and considering all relevant information, a project is not in keeping with either the tenets of this Ordinance or the Jerome Comprehensive Plan, the project shall be denied by specific motion of the Board. Any applicant who is aggrieved by such a decision may petition the Mayor or Council for a review within thirty (30) days of the decision. Questions of esthetics or design standards are not appealable to the Mayor and Council, but may be presented to a Court of Record within thirty (30) days of the decision. Additionally, if in the opinion of the Zoning Administrator a decision is not in conformance with the Zoning Code or Comprehensive plan, the Zoning Administrator may request a review by the Mayor and Council within thirty (30) days. By specific motion during an official meeting, the Mayor and Council may refuse to consider a request for review brought by the Zoning Administrator. Finally, the Mayor and Council shall maintain the right: (i) to review any and all decisions of the Design Review Board and (ii) to act on any application for a Final Approval if the Design Review Board fails to act on such application within ninety (90) days after the application is submitted.

2. In relation to SECTION 304.F.8, the Zoning Administrator's decision may be appealed to Council.

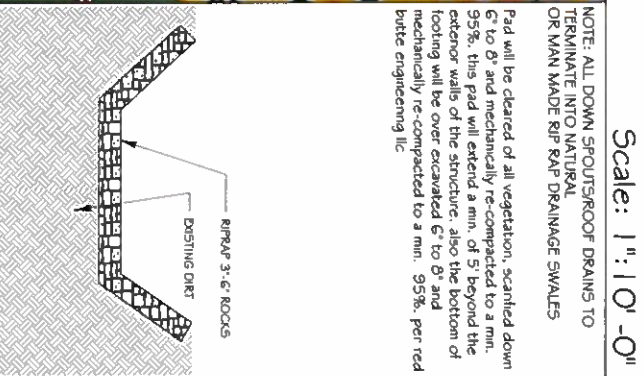
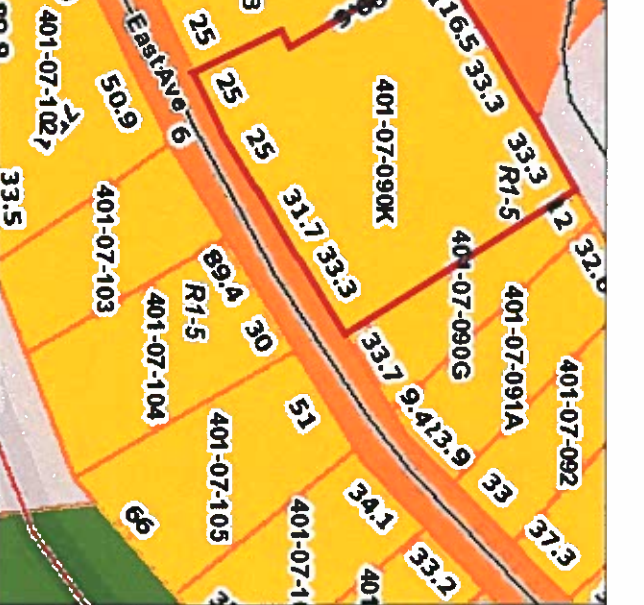
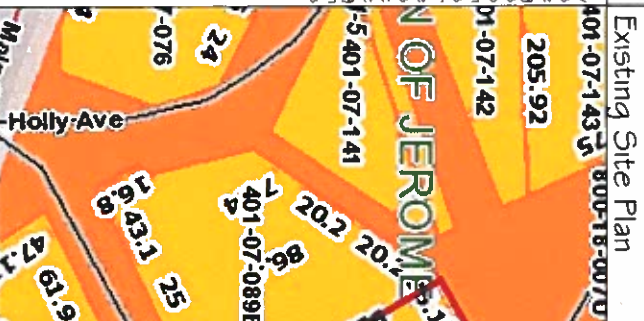
DRAFT



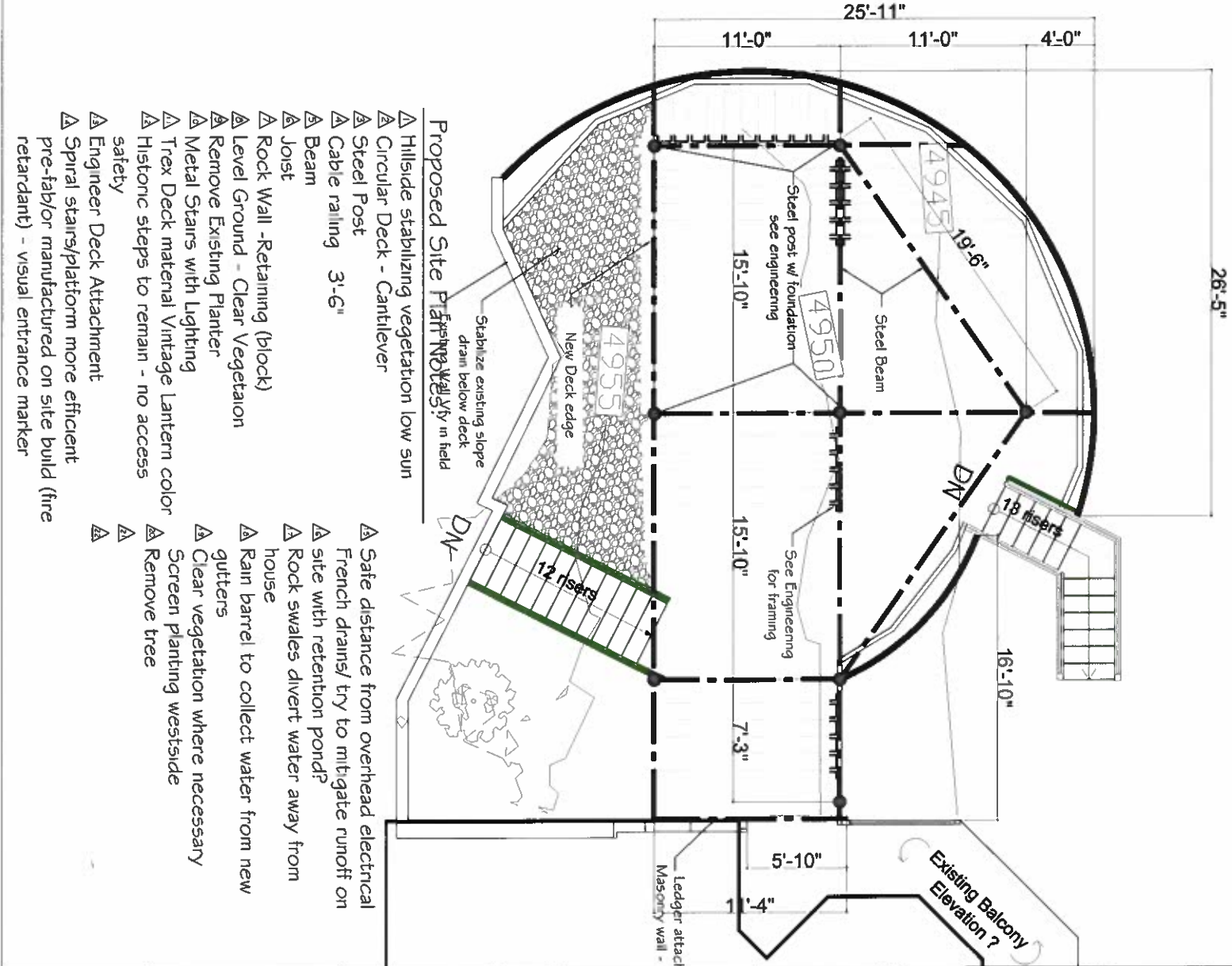
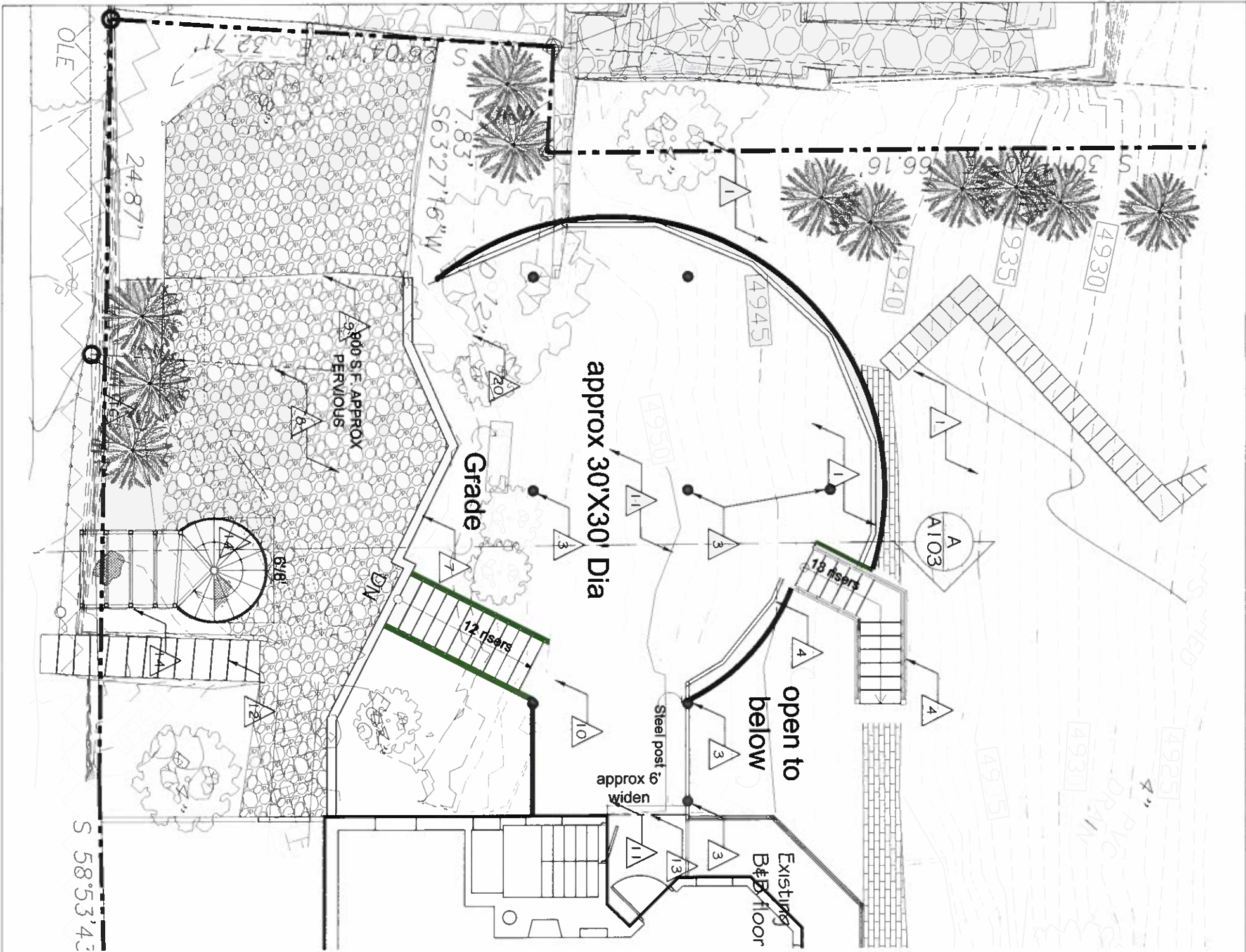
General Notes:

The structural construction documents represent the finished structure. They do not indicate the method of construction. The Owner shall provide all measures to protect the structure during construction. Such measures shall include but not be limited to bracing, shoring for loads due to construction equipment, etc. The Architect shall not be responsible for the Owner's means, methods, techniques, sequences for procedure or construction, or the safety precautions and the programs incident thereto (or shall observation visits to the site include inspection of these items).

Construction materials shall be spread out if placed on framed construction. Load shall not exceed the design live load per square foot. Where reference is made to various test standards for materials, such standards shall be the latest edition or addenda. Establish and verify all openings and inserts for architectural, mechanical, plumbing and electrical with appropriate trades, drawings and sub-contractors prior to construction. Options are for Owners convenience. If they choose an option, the Owner shall be responsible for all necessary changes and shall coordinate all details. Notes and details on the drawings shall take precedence over general structural notes and typical details. Where no details are shown, construction shall conform to similar work on project. Owner shall be responsible for verification of all dimensions with architectural drawings prior to start of construction. Reasonable discrepancy with the Architect at that time, not after construction commences. Typical details may not necessarily be put on plans, but apply unless noted otherwise. Where discrepancies occur between plans, details, general structural notes and specifications, the greater requirements shall govern. Any engineering design, provided by others and submitted for review, shall bear the deal of an Engineer registered in the State of Arizona.



APN#:	401-07-090K
	R1-5
Scope of Work	New Exterior Deck 30' dia. and New Metal Spiral Stairs
Code Information	For builders, the Town of Jerome has adopted the following Codes: 1998 ICC ANSI 2002 National Electric Code 2003 ICC Building, Energy, Existing Building, Fire, Fuel Gas, Mechanical, Plumbing, Private Sewage and Residential Appendix 33 of the 1997 UBC as the Town of Jerome Grading Ordinance, 2003 Edition
Site Data	Physical Address 728 East Ave Assessor Acres 0.25 Subdivision Mountain View Sub Ms-225 I SETBACK FRONT = REO SETBACK REAR = REO SETBACK SIDE = REO LIVABLE AREA (3,570) Attached 2 car garage
	TOTAL LOT COVERAGE: LOT SIZE: 19,795.0 S.F. (.46 ACRES)
Sheet Index	A.100 SITE PLAN A.101 DECK PLAN A.102 SECTIONS A.103 SECTIONS A.104 SECTIONS A.105 ELEVATIONS A.106 ARCHITECTURAL DETAILS S.O STRUCTURAL
Project Title	Williams Darryl & Jaime JT 728 East Ave Jerome Jerome, Arizona 86331
DATE	October 2018
SHEET NO.	A.100
A.P.N.	401-07-090K
Engineer	Jake Mickle, PE Mickle Engineering PLC (928) 301-6537
Designed by:	M.E. Morales
EME PARTNERS	310.463.3198 E-mail: emepartners@aol.com facebook: emepartners drafting services
Date	
Revisions	



Deck Plan

SCALE : 1/4"=1'-0"

- △ Hillside stabilizing vegetation low sun
- △ Circular Deck - Cantilever
- △ Steel Post
- △ Cable railing 3'-6"
- △ Beam
- △ Joist
- △ Rock Wall - Retaining (block)
- △ Level Ground - Clear Vegetation
- △ Remove Existing Planter
- △ Metal Stairs with Lighting
- △ Trex Deck material Vintage Lantern color
- △ Historic steps to remain - no access safety
- △ Engineer Deck Attachment
- △ Spiral stairs/platform more efficient pre-fab/or manufactured on site build (fire retardant) - visual entrance marker

A.101	DATE: October 1, 2018 SHEET NO.	Project Title Williams Darryl & Jaime JT 728 East Ave Jerome Jerome, Arizona 86331	A.P.N. : 401-07-090K	EME PARTNERS 310.463.3199 E-mail: emepartners@aol.com facebook: emepartners drafting services	Date	Revisions
			Engineer : Jake Mickle, PE Mickle Engineering PLC (928) 301-6537			
			Designed by: M.E. Morales			



Elevation

SCALE : 1/8"=1'-0"



Flagstone for first level Patio



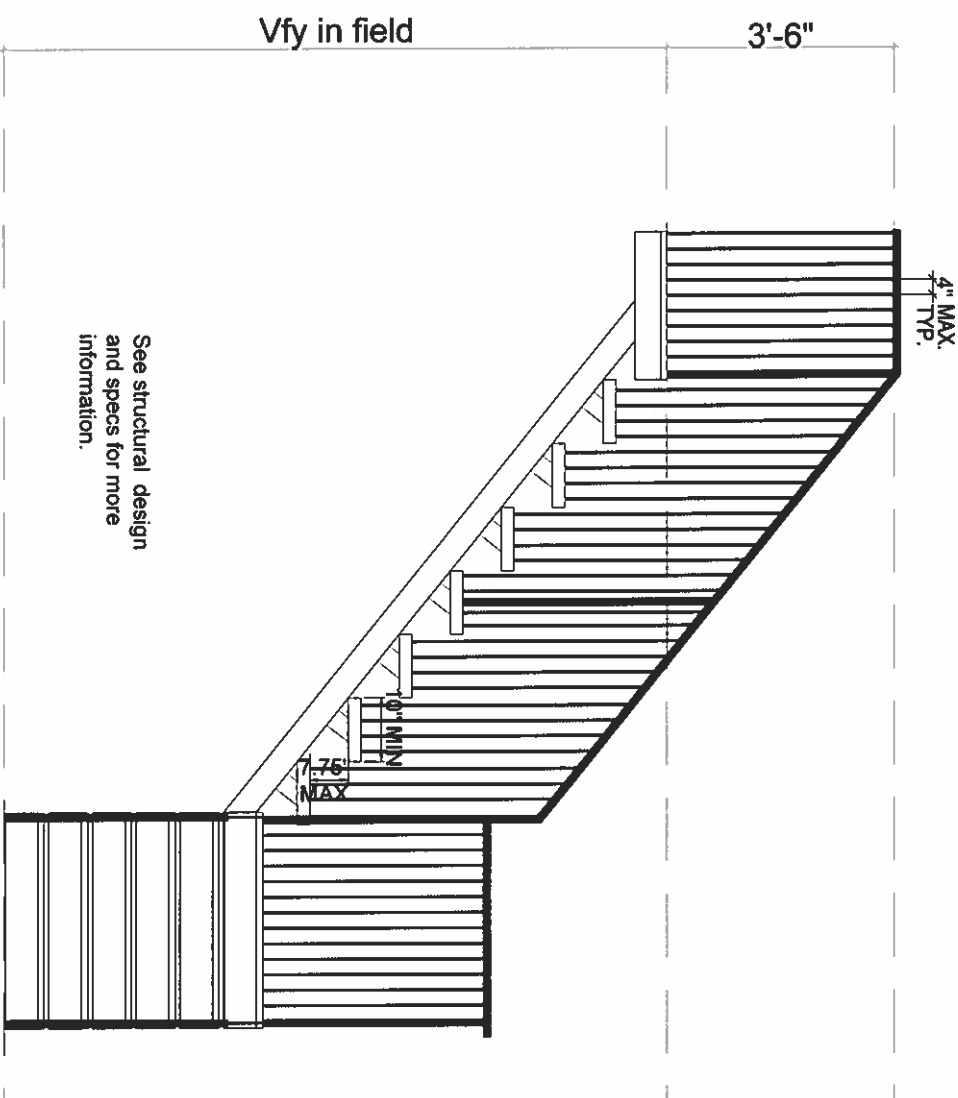
Circular Stair Lighting



Deck Trex Vintage Lantern

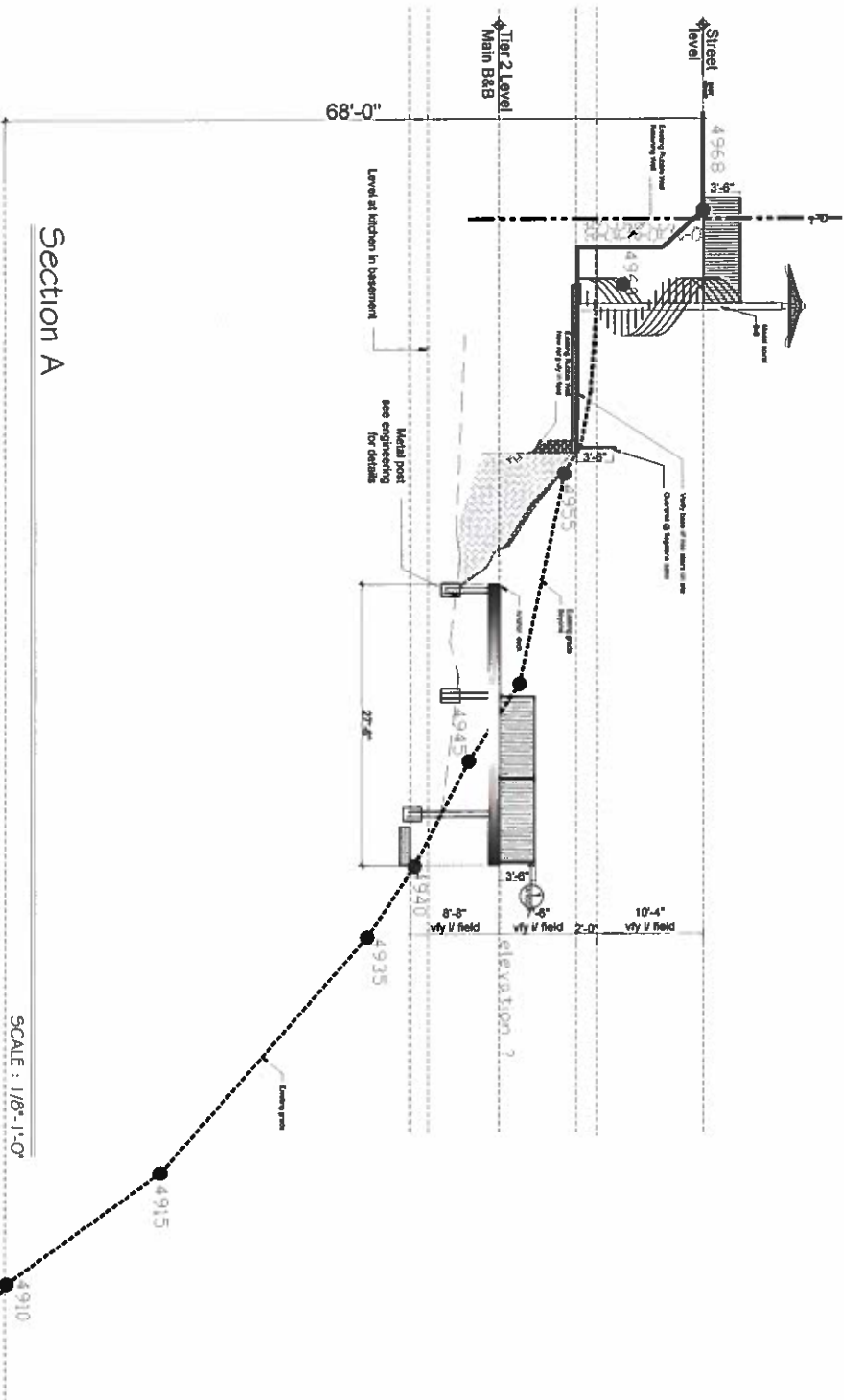


Vertical Cable Railing



Stair Detail "1"

SCALE : 3/4"=1'-0"



Section A

SCALE : 1/8"=1'-0"

Date	Revisions

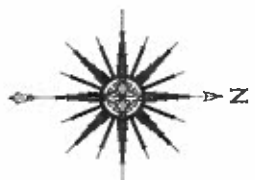
EME PARTNERS  
310.463.3199  
E-mail: emepartners@aol.com  
facebook: emepartners drafting services

A.P.N. : 401-07-090K  
Engineer : Jake Mickel, PE  
Mickle Engineering PLC  
(928) 301-6537  
Designed by: M.E. Morales

Project Title  
Williams Darryl & Jaime JT  
728 East Ave Jerome  
Jerome, Arizona 86331

DATE: October 1, 2018  
SHEET NO.  
A.103

JEN WALKWAY  
ONE PATTO  
ETE SURFACE  
ETE PAVERS



CONTOUR INTERVAL = 1'  
SCALE 1" = 10'

SEWER MH  
EL=4906.2'  
4" IN S = 4904.7"  
4" IN S = 4904.3'  
6" OUT NE = 4901.4'

A digital drawing was supplied along with this paper drawing. In the event of a discrepancy the sealed original paper drawing is the master copy.

32" CAP  
INVERT = 4902.1'

32" CAP  
INVERT = 4902.1'

RO

DOUGLAS ROAD

**SURVEYOR'S CERTIFICATE**

STAN DICKEY  
LS 32224

32224  
STAN  
DICKEY

DATE OF SURVEY: 10/13/18



**EXPENSE: 05-31-10**

31

**TOPOGRAPHIC SURVEY**

of Lot 1, Block 3, Mountain View Subdivision. Per  
 Un-Recorded Plat by Moore Knickerbocker Jones  
 Associates, stamped and Dated 8-15-81 by Joseph  
 Jones. Of Lots 27, 28, and a portion of Lots 28 &

DESIGN	NAME	DATE
DRAWN	N/A	10/11
CHECKED	S. DICKET	10/1
REVISED		

BVC NAME: 11809021-1TOPCB

**ABBREVIATION LEGEND**

OLE - OLEANDER  
 ELE - ELEVATION  
 ELEC - ELECTRIC  
 SVC - SERVICE  
 MH - MANHOLE  
 CH - CHIMNEY  
 CAP - CONCRETE METAL PIPE  
 CHAIL - CONCRETE CHAIL  
 HB - HOSE BIB  
 O.F. - 4" PVC OVERFLOW

**ABBREVIATION LEGEND**

OLE - CLEANDER  
EL - ELEVATION  
ELEC. - ELECTRIC  
SVC. - SERVICE  
MH - MANHOLE  
FH - FIRE HYDRANT  
CMP - CORRUGATED METAL PIPE  
CNAL - CONCRETE NAIL  
HB - HOSE BIB  
O.F. - 4" PVC OVERFLOW

LEGEND (PER YAVAPAI COUNTY INST# 2018-0017998)

- ③ -1/2 inch rebar with plastic cap stamped "LS 4491"
- ◆ -P.K. and Shiner with no identification (affixed brass tag "LS 32224")
  - -Calculated point not searched nothing found or set
- ⊗ -1/2 inch rebar with aluminum tag stamped "LS 32224"
- -1/2 inch rebar with no id. affixed brass tag "FOUND LS 32224"
- -MAG Spike with brass washer stamped "LS 32224"
- ⊙ -1/2 inch rebar with brass washer stamped "LS 32224"

# TOPOGRAPHIC SURVEY

of Lot 1, Block 3, Mountain View Subdivision. Per an Un-Recorded Plat by Moore Knickerbocker Jones and Associates, stamped and Dated 8-15-51, by Joseph D. Jones. Of Lots 27, 28, and a portion of Lots 29 & 30, Block 5, Mountain View Subdivision, per Block 2 of Maps and Plats, Page 65. Being a portion of Section 23, Township 16 North, Range 2 East of the 6th and Salt River Basins and Meridian.

**CORNERSTONE**  
surveying & engineering, inc.

P.O. Box 1245  
Cottonwood, AZ. 86326  
PH: 928-649-0949  
Fax: 928-639-3801

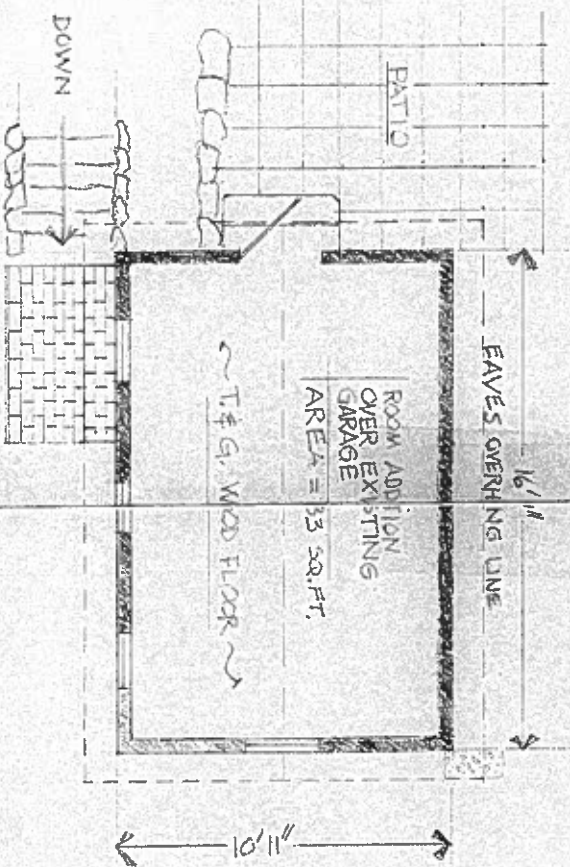
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DESIGN	N/A	N/A
DRAWN		10/10/18
CHECKED	S. DICKEY	10/13/18
REVISED		
DWG NAME: 11809021-TDPLD.DWG		

DVG NAME: 11809021-TDPO.DVG

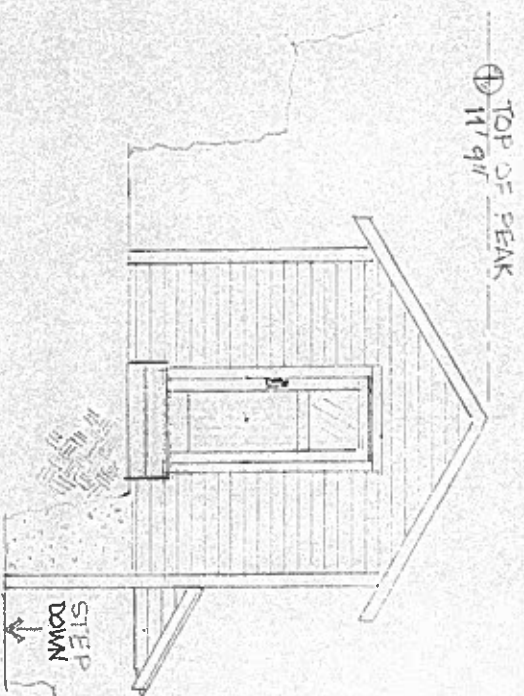
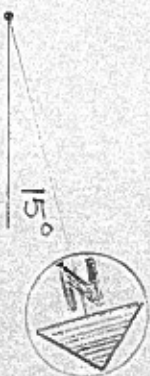
JOB NUMBER: 11809021		APN: VARIES	
CLIENT DILLENBERG	SHEET 1 of 1	SECTION 23	TOWNSHIP 16N RANGE 2E
Gila & Salt River Base & Meridian			

NOTES:

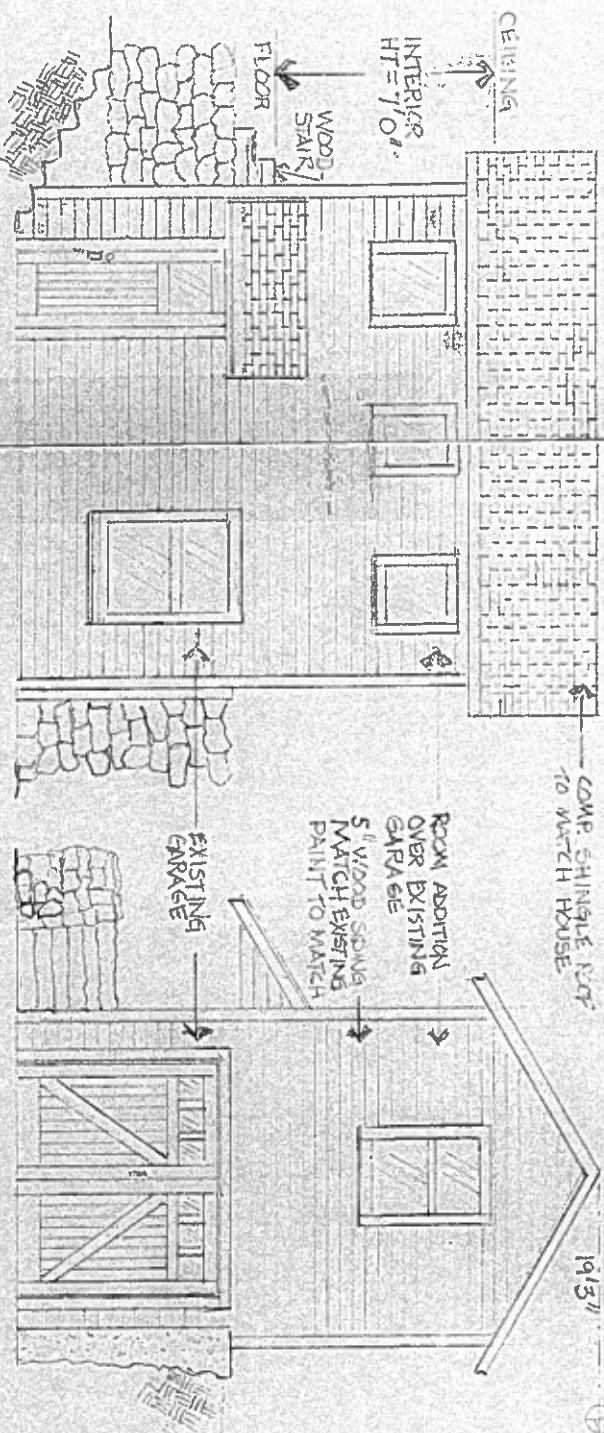
1. ADDITION TO BE BUILT ABOVE EXISTING GARAGE FOOTPRINT
2. ELECTRICAL SUPPLY - NONE
3. MECHANICAL SUPPLY - NONE
4. PLUMBING - NONE
5. WINDOW/DOOR SCHEDULE  
DOOR - NORTH ELEV. - 6'8" X 2'8"  
PANEL W/ TOP LIGHT  
WINDOW - WEST ELEV. 2'10" X 2'10"  
WOOD FRAME (3 REA)  
WINDOW - SOUTH ELEV. 2'6" X 3'6"  
WOOD FRAME



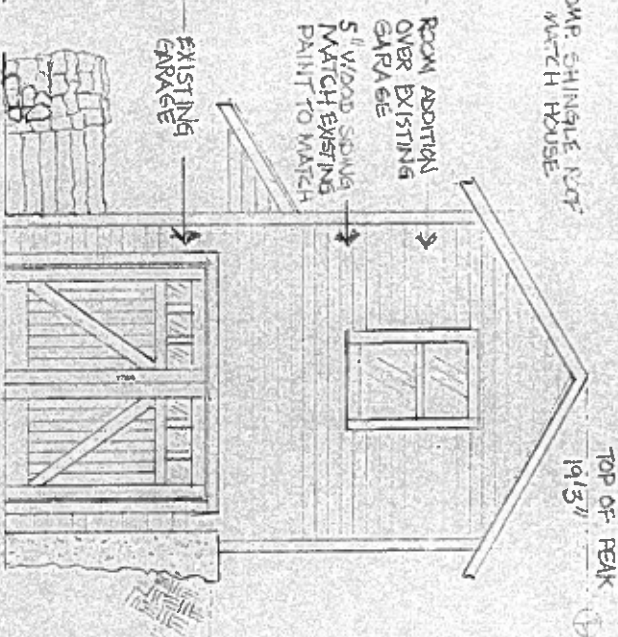
PLAN VIEW  
ROOM ABOVE GARAGE



NORTH ELEVATION



WEST ELEVATION



SOUTH ELEVATION

STORAGE ROOM ADDITION OVER EXISTING GARAGE

701 HULL ROAD  
P.O. BOX 244  
JEROME AZ 86331

DON AND KATHI FEHER  
(562) 225-4498  
FEHER.SAILING@GMAIL.COM

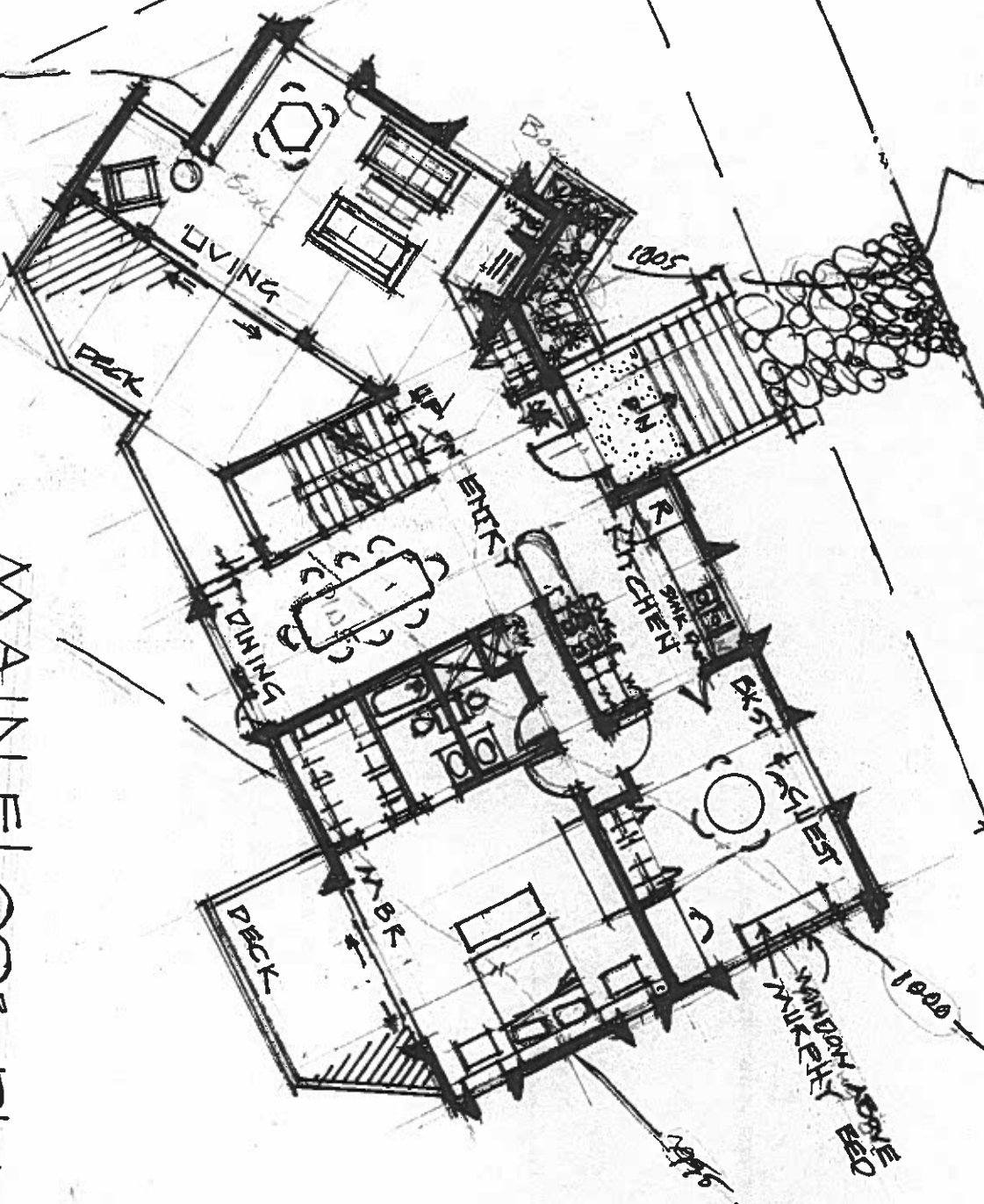
Date JAN 07 2019  
Scale 1/4" = 1'0"  
Drawn DON FEHER  
Job

PROPOSED RESIDENCE  
*for*

MR & MRS SCOTT PRIOR

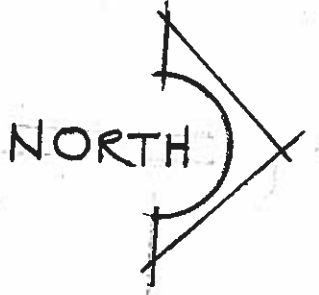
LEE N. CHRISTENSEN & ASSOCIATES  
ARCHITECTURE & PLANNING

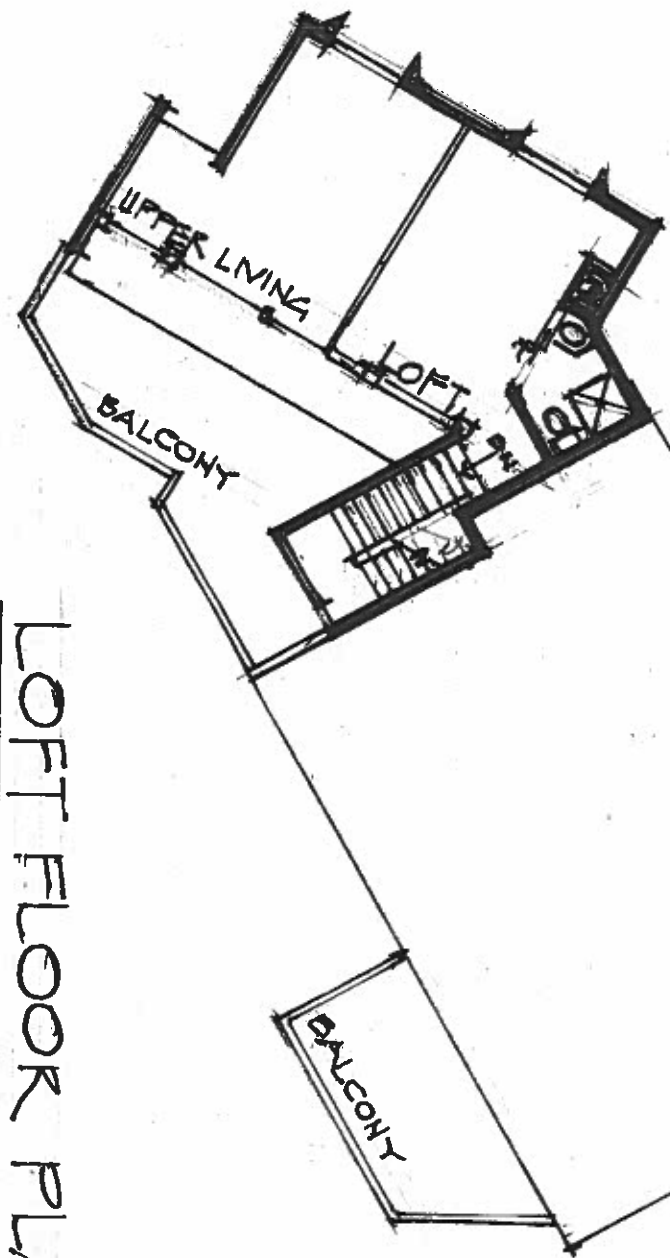
DUNDEE AVE



MAIN FLOOR PLAN

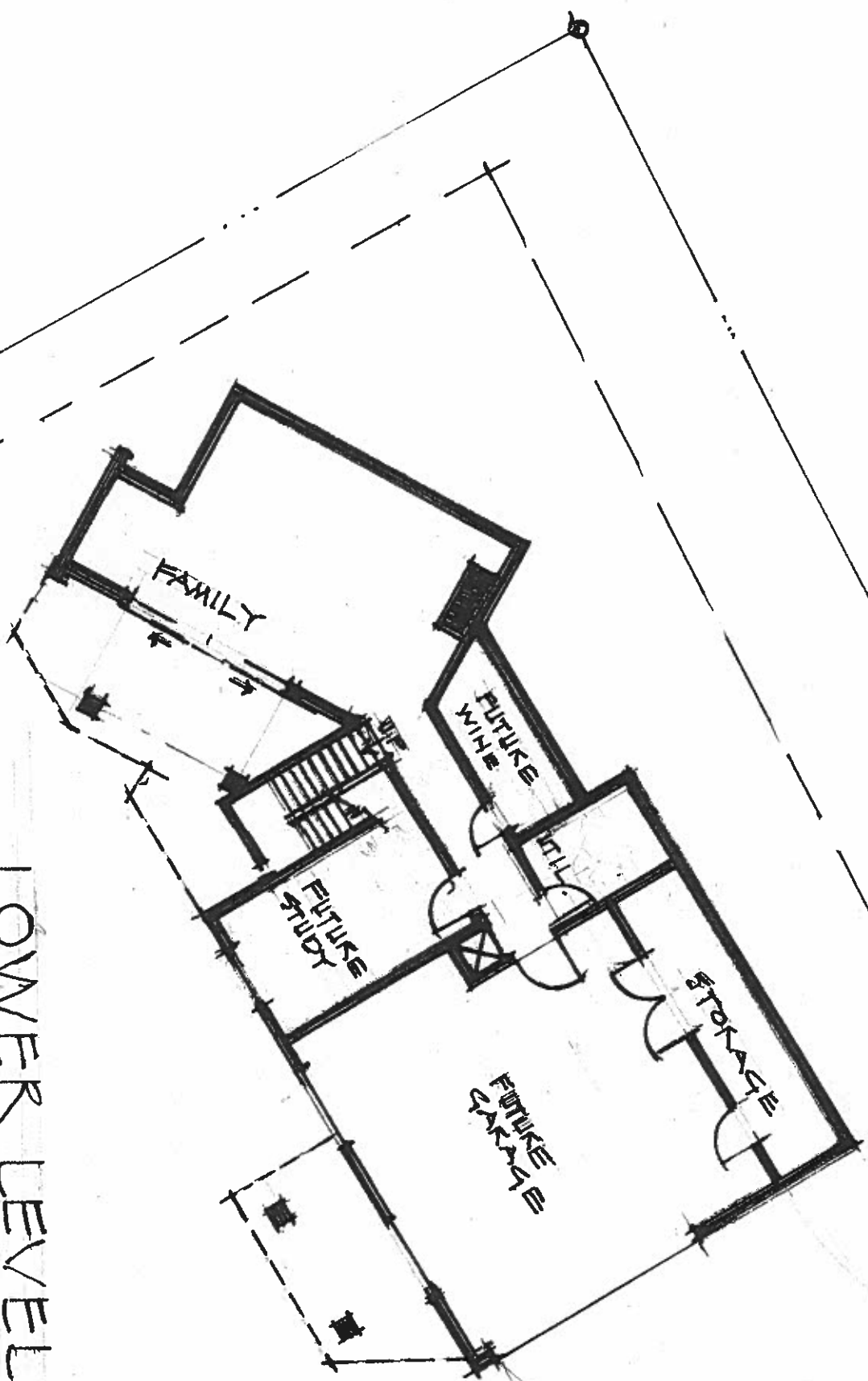
11. 101.01 #401.11.0195



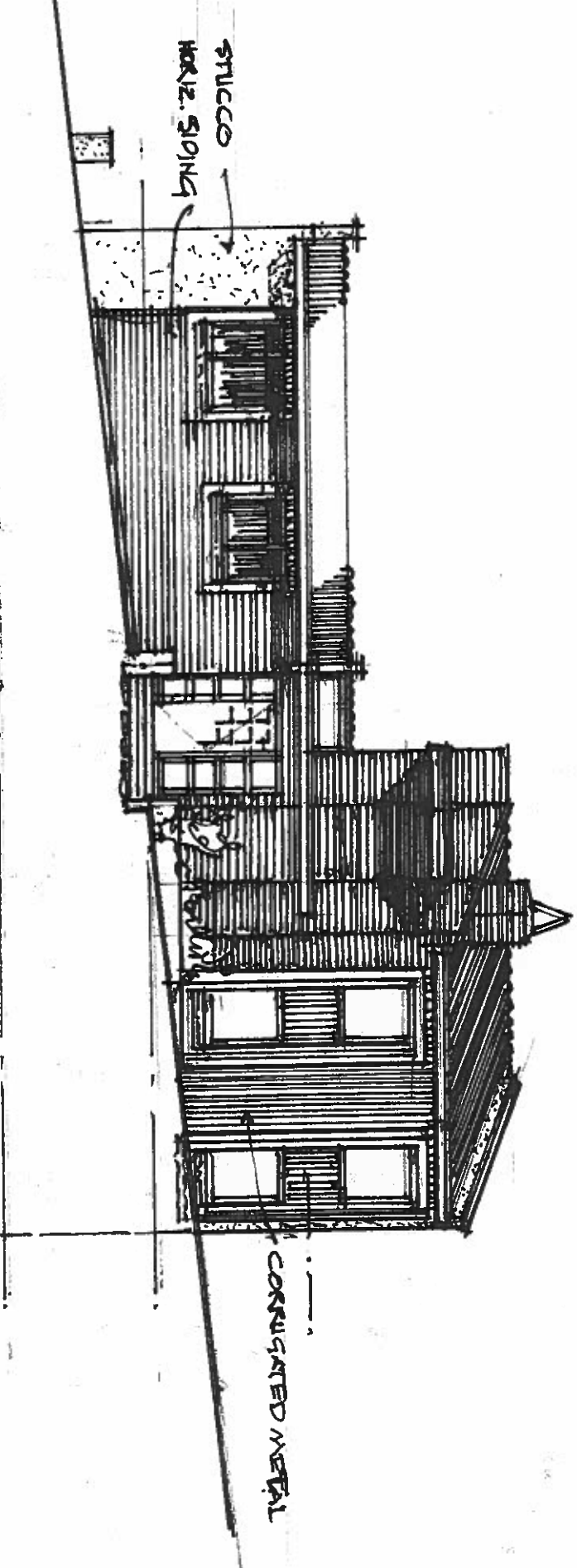


LOFT FLOOR PLAN

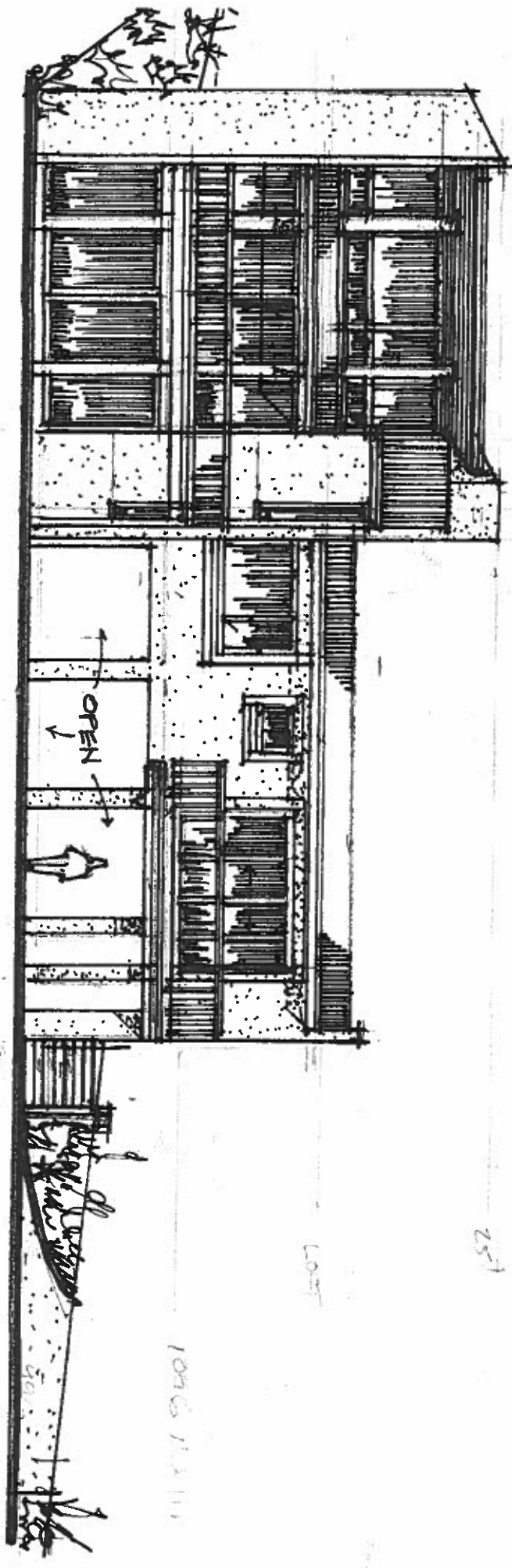
LOWER LEVEL PLAN



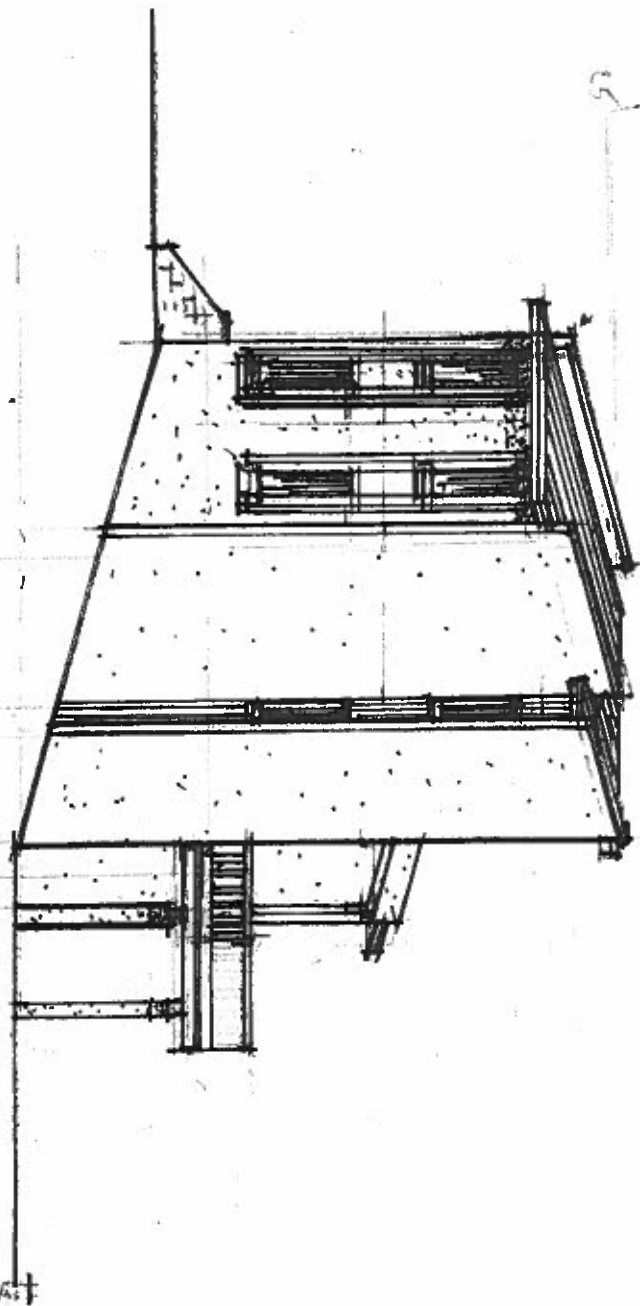
NORTH ELEVATION

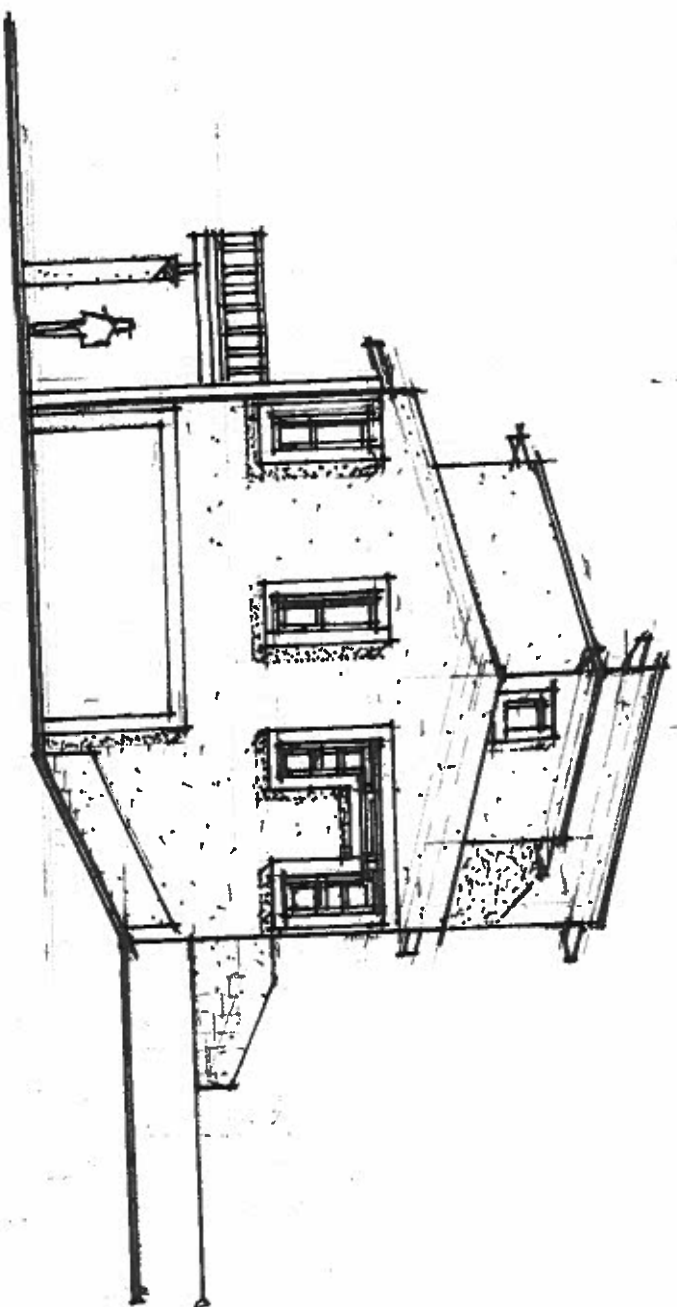


SOUTH ELEVATION



WEST ELEVATION





EAST ELEVATION

10-18-18